

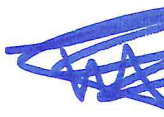
**BOROUGH OF CARROLL VALLEY  
PLANNING COMMISSION MEETING  
Monday, November 13, 2023 – 7:00 P.M.  
Borough Office**

**A G E N D A**

1. **Approval of Meeting Minutes**
  - a. Minutes of the October 2, 2023, meeting
2. **Open to the Public**
3. **New Business**
  - a. Vail, Liberty Mountain Land Development Plan
  - b. Fifty Properties, LLC Land Development Plan
4. **Old Business**
  - a. Ordinance Revising Chapter 27: Zoning regarding Short-Term Rentals
5. **Adjournment**

## MEMORANDUM

**Memo to:** Carrol Valley Borough

**Memo from:** Timothy R. Knoebel P.E. / Brandon Guiher, P.E. 

**Subject:** Subdivision and Land Development Plan Review  
Ski Liberty Operating Corp.  
Preliminary/Final Subdivision and Land Development Plan  
115 Sanders Road Fairfield, PA 17320  
Plan date: July 20, 2023 (revised 10-10-23)

**Date:** November 8, 2023

**cc:** Stantec Consulting Services Inc./ Ski Liberty Operating Corp.  
PMCA

The plan proposes to construct a new gravel parking lot for the Liberty Mountain Resort. The parking lot will include 143 new parking spaces totaling about 61,500 SF of new impervious and a forebay and basin for stormwater control. The plan also proposes to consolidate two existing parcels of 154 acres and 4.83 acres into one new parcel of about 159 acres. Both parcels are owned by Snow Time, Inc., and located in the Community Core (CC) zoning district.

### Zoning Ordinance Comments

(Comments of the engineer regarding zoning are subject to review or interpretation of the Zoning Officer and Borough Solicitor.)

*All zoning related items have been addressed.*

### Subdivision and Land Development Ordinance Comments

1. The following waivers are being requested: (attached)
  - a. (SWMO 23-406.J.f) – To provide a cutoff trench of impervious material within basin embankments. *We recommend this waiver be granted.*
  - b. (SWMO 23-406.J.b) – To provide a minimum top width of eight (8) feet for basin embankments. *We recommend this waiver be granted.*
  - c. (SWMO 23-406.B) – To provide an embankment height with a minimum 1 foot of freeboard above the maximum pool elevation for the 100-year storm event. *We recommend this waiver be granted*
  - d. (21-207.5.D) – to provide a minimum drainage pipe diameter of 15 inches (existing 12 inch entrance culvert to remain). *We recommend this waiver be granted subject to the understanding that the owner is responsible for the maintenance of the pipe.*

2. A Deed of Consolidation needs to be approved and recorded. (352.1.B)
3. The engineer's seal and signature must be executed. (403.F)
4. The owner's acknowledgement must be executed. (406.M)
5. Bonding of related improvements in the amount of \$ \$ 197,251.73 is required in accordance with the attached estimate. (338)
6. A Stormwater Management Operations and Maintenance Agreement will need to be executed and recorded.

In summary, given the nature of the comments being administrative and provided the waiver requests are approved, we recommend consideration for approval of the plan subject to the applicant's agreement to address the comments contained in this review memorandum.

**BOROUGH OF CARROLL VALLEY  
IMPROVEMENT GUARANTEE (IG) AND REDUCTION TABULATION  
SITE IMPROVEMENTS**

PROJECT NAME:  
IG DATE:  
IG REDUCTION DATE:

115 Sanders Road Parking Lot Addition  
11/8/2023

PROJECT NO: 202711948  
PREPARED BY: Bill Schnoor, PE  
PLAN DATE: 10/10/2023

Item #	Description	Units	Quantity	Unit Cost	Item Total	Improvement Guarantee Reduction			Improvement Guarantee		
						Completed	Reduction	Current	Completed	Remaining	
<b>A</b>											
<b>EROSION &amp; SEDIMENTATION CONTROL</b>											
1	Filter Sock, 12"	LF	1,228	\$ 8.50	\$ 10,438.00	0%	\$ -	0%	\$ -	100%	\$ 10,438.00
2	Filter Sock, 18"	LF	418	\$ 9.50	\$ 3,971.00	0%	\$ -	0%	\$ -	100%	\$ 3,971.00
3	Temporary Seeding	SY	1,210	\$ 3.25	\$ 3,932.50	0%	\$ -	0%	\$ -	100%	\$ 3,932.50
4	Erosion Control Matting	SY	1,150	\$ 5.15	\$ 5,922.50	0%	\$ -	0%	\$ -	100%	\$ 5,922.50
5	Rock Construction Entrance	EA	1	\$ 15,000.00	\$ 15,000.00	0%	\$ -	0%	\$ -	100%	\$ 15,000.00
				<b>Category Total</b>	<b>\$ 39,264.00</b>						<b>\$ 39,264.00</b>
<b>B</b>											
<b>STORMWATER MANAGEMENT</b>											
1	Rain Garden & Forebay w/ Amended Soils	EA	1	\$ 50,000.00	\$ 50,000.00	0%	\$ -	0%	\$ -	100%	\$ 50,000.00
2	Landscaping	EA	1	\$ 40,000.00	\$ 40,000.00	0%	\$ -	0%	\$ -	100%	\$ 40,000.00
				<b>Category Total</b>	<b>\$ 90,000.00</b>						<b>\$ 90,000.00</b>
<b>C</b>											
<b>SITE</b>											
1	Bumper Blocks	EA	236	\$ 62.00	\$ 14,632.00	0%	\$ -	0%	\$ -	100%	\$ 14,632.00
2	Crosswalk	EA	1	\$ 600.00	\$ 600.00	0%	\$ -	0%	\$ -	100%	\$ 600.00
3	Internal Pedestrian Walkways	LF	1,135	\$ 4.25	\$ 4,823.75	0%	\$ -	0%	\$ -	100%	\$ 4,823.75
4	Landscaping	EA	1	\$ 30,000.00	\$ 30,000.00	0%	\$ -	0%	\$ -	100%	\$ 30,000.00
				<b>Category Total</b>	<b>\$ 50,055.75</b>						<b>\$ 50,055.75</b>
<b>Past IG Reductions</b>						<b>Current IG Reductions</b>			<b>IG Remaining</b>		
Subtotal \$ -						Subtotal \$ -			Subtotal \$ 179,319.75		
Total \$ 17,931.98						Total \$ -			Total \$ 17,931.98		
10% Contingency						Total \$ -			Total \$ 197,251.73		
Sub-Total						Subtotal			Subtotal		
\$ 179,319.75						\$ -			\$ 179,319.75		
Total						Total			Total		
\$ 197,251.73						\$ -			\$ 197,251.73		





**Stantec Consulting Services Inc.**  
5000 Ritter Road, Suite 102  
Mechanicsburg PA 17055-6922

**Transmittal**

To:	Dave Hazlett Borough Manager	From:	Bill Schnoor
Company:	Borough of Carroll Valley	<input type="checkbox"/>	For Your Information
Address:	5685 Fairfield Road Fairfield, PA 17320	<input checked="" type="checkbox"/>	For Your Approval
		<input checked="" type="checkbox"/>	For Your Review
		<input type="checkbox"/>	As Requested
Phone:	(717) 642-8269		
Date:	October 10, 2023		
Project/File:	Liberty Mountain Parking Lot Addition		
Delivery:	Via Email		

**Reference: 115 Sanders Road Parking Lot Addition**

On behalf of the Applicant, Ski Liberty Operating Corp., we submit the following documents in support of the Preliminary/Final Subdivision and Land Development Application for 115 Sanders Road Parking Lot Addition:

1. Comment Response Letter dated October 10, 2023
2. Revised Preliminary/Final Subdivision and Land Development Plan (13 sheets)
3. Revised Post Construction Stormwater Management (PCSM) Report
4. Waiver Request – Minimum Berm Width
5. Waiver Request – Minimum Freeboard
6. Waiver Request – Minimum Pipe Size
7. Waiver Request – Cutoff Trench

If you have any questions or require additional information, please let me know.

Sincerely,

**STANTEC CONSULTING SERVICES INC.**

**Bill Schnoor** PE, PMP  
Senior Engineering Manager  
Mobile: 223-212-9574  
bill.schnoor@stantec.com

Copy: Chris Blackwell (via email)



Stantec Consulting Services Inc.  
 5000 Ritter Road Suite 102  
 Mechanicsburg PA  
 17055-6922  
 Tel. (717) 691-3355  
 Fax. (717) 691-3366  
 www.stantec.com

# 115 SANDERS ROAD PARKING LOT ADDITION

# Preliminary/Final Subdivision and Land Development Plan For Ski Liberty Operating Corp.

Carroll Valley Borough,  
 Adams County, Pennsylvania

2023.07.20  
 LAST REVISED: 2023.10.10

### ZONING DATA

	CC-COMMUNITY CORE DISTRICT	
	REQUIRED	PROPOSED
MINIMUM LOT AREA:	10,000 SF	43014-0006---000
MINIMUM LOT WIDTH @ BUILDING LINE	80 FT	239 FT
MINIMUM SETBACKS:		
FRONT YARD	10 FT	NA
SIDE YARD	10 FT	NA
REAR YARD	15 FT	NA
MAXIMUM IMPERVIOUS COVERAGE	25%	6.79%
MINIMUM VEGETATIVE COVER	75%	93.21%

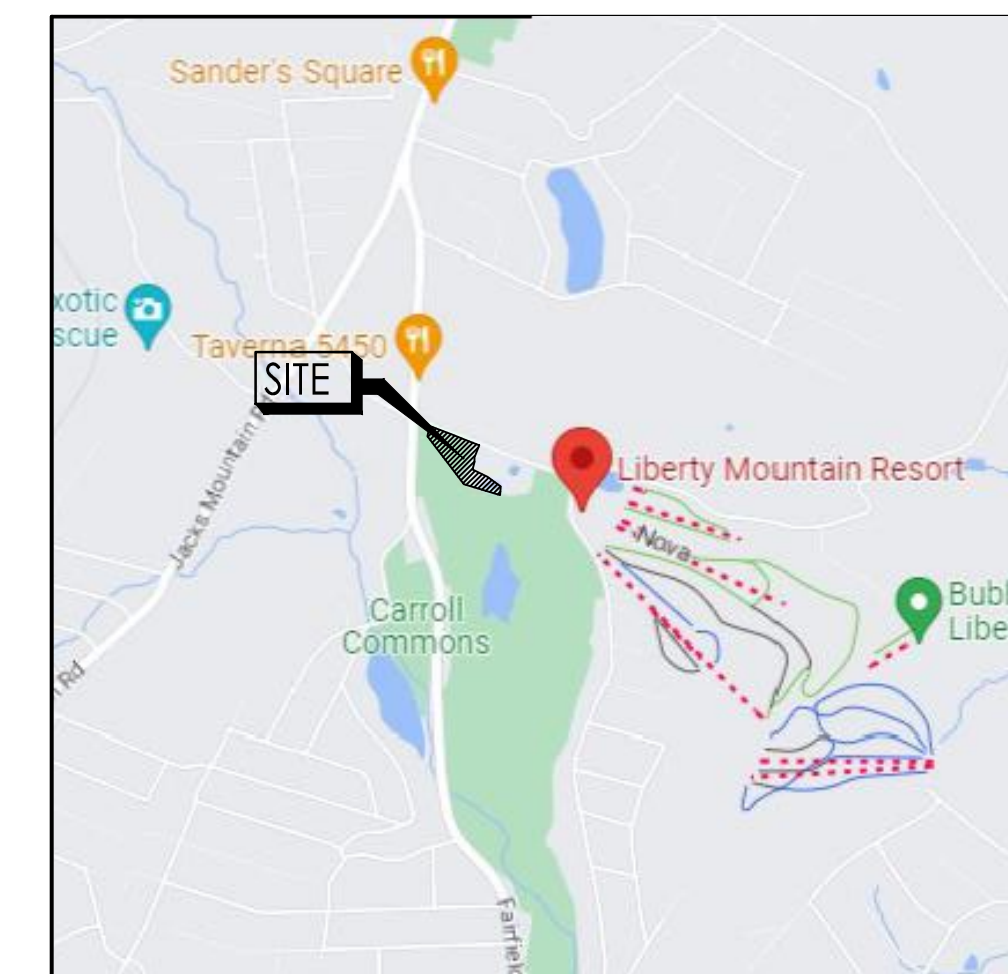
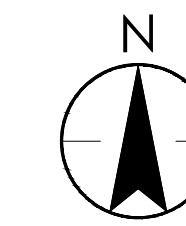
### PARKING SPACE SURFACE REQUIREMENTS

PARKING SPACES	GRAVEL	PAVED	TOTAL	% PAVED
EXISTING	1514	573	2087	27.46%
PROPOSED	143	0	143	0.00%
TOTAL:	1657	573	2230	25.70%

### ADA PARKING SPACE REQUIREMENTS

PARKING SPACES	PERMANENT	SEASONAL	TOTAL	PROVIDED ADA SPACES			REQUIRED ADA SPACES
				PERMANENT	SEASONAL	TOTAL	
EXISTING	448	1639	2087	12	19	31	31
PROPOSED	0	143	143	0	2	2	2
TOTAL:	448	1782	2230	12	21	33	33

\* SEASONAL ADA PARKING SPACE SIGNAGE SHALL BE PUT IN PLACE AT ADA COMPLIANT PARKING SPACES AND REMAIN IN PLACE BETWEEN DECEMBER 15 AND MARCH 15.



LOCATION MAP

1"=2000'

Sheet List Table		
Drawing Number	Sheet Number	Sheet Title
G-001	1	COVER SHEET
C-101	2	EXISTING CONDITIONS PLAN
C-111	3	LOT CONSOLIDATION PLAN - NORTH
C-112	4	LOT CONSOLIDATION PLAN - SOUTH
C-121	5	SITE PLAN
C-131	6	GRADING AND UTILITY PLAN
C-141	7	EROSION & SEDIMENT CONTROL PLAN
C-142	8	EROSION & SEDIMENT CONTROL DETAILS
C-143	9	EROSION & SEDIMENT CONTROL NOTES
C-161	10	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
C-162	11	POST CONSTRUCTION STORMWATER MANAGEMENT NOTES & DETAILS
L-191	12	LANDSCAPE PLAN
L-192	13	LANDSCAPE DETAILS AND NOTES

### GENERAL NOTES:

- THE PURPOSE OF THIS PLAN IS TO CONSOLIDATE TWO (2) EXISTING PARCELS INTO ONE (1) PARCEL FOR THE CONSTRUCTION OF A +/- 61,500 SF GRAVEL PARKING LOT TO PROVIDE ADDITIONAL SEASONAL PARKING FOR THE SKI LIBERTY RESORT.
- THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND SHALL BE SUBJECT TO ALL ENCUMBRANCES ESTABLISHED BY DEEDS OF RECORD.

### APPLICANT / OWNER:

SNOW TIME INC.  
 121 SANDERS ROAD  
 FAIRFIELD PA 17320

CHRIS BLACKWELL  
 PHONE NUMBER: (717)-642-8282 EXT: 3303

### SITE INFORMATION

PARCEL 1: 121 SANDERS ROAD  
 DEED RECORDED IN ADAMS COUNTY  
 DEED BOOK: 5480 PAGE: 122  
 PARCEL IDENTIFICATION NUMBER (PIN): 43014-0006---000

PARCEL 2: 115 SANDERS ROAD  
 DEED RECORDED IN ADAMS COUNTY  
 DEED BOOK: 5480 PAGE: 122  
 PARCEL IDENTIFICATION NUMBER (PIN): 43010-0004---000

THIS PLAN IS RECORDED IN ADAMS COUNTY COURTHOUSE IN  
 PLAT BOOK: \_\_\_\_\_ PAGE: \_\_\_\_\_  
 DATE: \_\_\_\_\_

### PLAN PREPARER CERTIFICATE

I HEREBY CERTIFY THAT THIS PLANS ARE CORRECT  
 REGISTERED ENGINEER: \_\_\_\_\_ DATE: \_\_\_\_\_  
 LICENSE NO.: \_\_\_\_\_

**PLANNING COMMISSION CERTIFICATION**  
 REVIEWED BY THE PLANNING COMMISSION OF THE BOROUGH OF CARROLL VALLEY THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2023.

BOROUGH MANAGER: \_\_\_\_\_ DATE: \_\_\_\_\_

CHAIR,  
 PLANNING COMMISSION: \_\_\_\_\_ DATE: \_\_\_\_\_

**BOROUGH COUNCIL CERTIFICATION**  
 APPROVED BY THE BOROUGH COUNCIL OF THE BOROUGH OF CARROLL VALLEY THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2023.

BOROUGH MANAGER: \_\_\_\_\_ DATE: \_\_\_\_\_

PRESIDENT,  
 BOROUGH COUNCIL: \_\_\_\_\_ DATE: \_\_\_\_\_

**ADAMS COUNTY OFFICE OF PLANNING AND DEVELOPMENT CERTIFICATION**  
 REVIEWED BY THE ADAMS COUNTY OFFICE OF PLANNING AND DEVELOPMENT ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2023.

SECRETARY: \_\_\_\_\_ DATE: \_\_\_\_\_

DIRECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

ADAMS COUNTY OFFICE OF  
 PLANNING AND DEVELOPMENT

I HEREBY CERTIFY THAT THIS SURVEY AND PLAN ARE CORRECT

REGISTERED SURVEYOR: \_\_\_\_\_ DATE: \_\_\_\_\_

LICENSE NO.: \_\_\_\_\_

I/We \_\_\_\_\_  
 being duly sworn, according to law, depose that I/We am/are the owner(s) of record of the lands shown hereon, being considered for subdivision or land development approval, and that all lands, right-of-ways and easements designated for public use, if not previously, are hereby tendered for dedication for public use.

Witness our hands and seals this \_\_\_\_ day of \_\_\_\_\_, 2023

\_\_\_\_\_  
 SIGNATURE

Affidavit:

Commonwealth of Pennsylvania  
 County of Adams

sworn and subscribed to me this \_\_\_\_ day of \_\_\_\_\_, 2023

\_\_\_\_\_  
 NOTARY PUBLIC

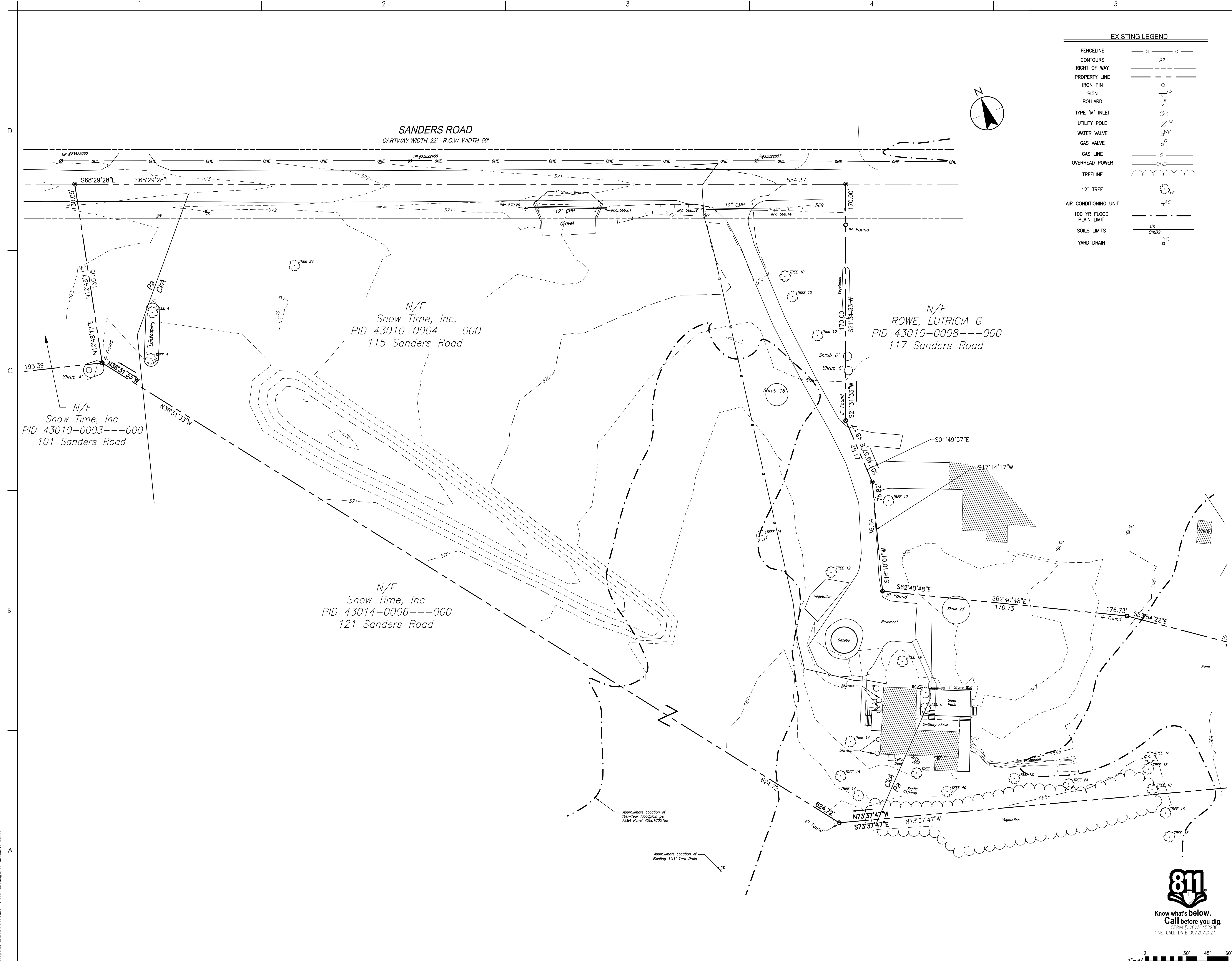
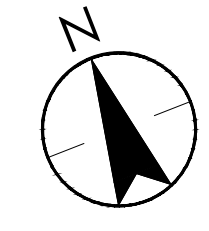
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Notes

- THIS SURVEY PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY STANTEC CONSULTING SERVICES INC., ON MAY 26, OF 2023. BENCHMARK: DRILL HOLE SET AS SHOWN ON PLAN. DATUM IS NGS (NAVD88).
- THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
- BY GRAPHIC PLOTTING ONLY, THE PROPERTY LIES WITHIN ZONE AE (AREA WITH BASE FLOOD ELEVATIONS) AND ZONE X (AREA OF MINIMAL FLOOD HAZARD) OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 42001C0219E EFFECTIVE ON 7/22/2020.
- THE LOCATION OF UNDERGROUND UTILITIES IS BASED ON FIELD LOCATION OF VENTS, VALVES, MANHOLES, INLETS ETC. THE EXTENT, EXACT LOCATION AND DEPTH OF UNDERGROUND UTILITIES HAS NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXTENT AND EXACT LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL NOTIFY UTILITY COMPANIES THREE (3) DAYS PRIOR TO COMMENCING WORK TO COMPLY WITH PENNA. ACT NO. 287
- SOIL DELINEATION LINES TAKEN FROM WEB SOIL SURVEY URL: [HTTP://WEBSOILSURVEY.NRC.S.USA.GOV](http://websoilsurvey.nrcs.usda.gov). COORDINATE SYSTEM: UTM ZONE 18N NAD83. THIS PRODUCT IS GENERATED FROM THE USDA-NRCS CERTIFIED DATA AS OF SOIL SURVEY AREA: ADAMS COUNTY, PENNSYLVANIA SURVEY AREA DATA VERSION 20, SEPT 6, 2022.  
CJA-CLARKSBURG SILT LOAM, 0 TO 3 PERCENT SLOPES  
Pa-PENNLAW SILT LOAM.
- THE LOCATION OF ALL FEATURES AND APPURTENANCES SHOWN HEREON ARE A GRAPHIC REPRESENTATION OF THE SITE. NO COORDINATE VALUES HAVE BEEN CREATED FOR THESE FEATURES. THE USER OF THESE PLANS ASSUMES ALL RESPONSIBILITY FOR THE PLACEMENT AND/OR CONSTRUCTION OF THE SAME.

EXISTING LEGEND	
FENCELINE	—○—○—
CONTOURS	- - - 97 - - -
RIGHT OF WAY	— — — — —
PROPERTY LINE	— — — — —
IRON PIN	○ TS
SIGN	○ S
BOLLARD	○ B
TYPE 'M' INLET	□ M
UTILITY POLE	○ UP
WATER VALVE	○ WV
GAS VALVE	○ G
GAS LINE	— G —
OVERHEAD POWER	— OHE —
TREELINE	— — — — —
12" TREE	○ 12"
AIR CONDITIONING UNIT	□ AC
100 YR FLOOD PLAIN LIMIT	— — — — —
SOILS LIMITS	— Ch —
YARD DRAIN	□ YD



Revision	By	Appd	YYYY.MM.DD
3. BOROUGH REVIEW COMMENTS	NY	BS	2023.10.10
2. ACCD REVIEW COMMENTS	AD	BS	2023.08.16
1. ACCD REVIEW COMMENTS	AD	BS	2023.08.11

File Name: 202711948C-101  
Dwn: NRY  
Dsgr: GCI  
Chkd: BS  
DATE: 2023.07.20  
YYYY.MM.DD

Permit/Seal

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

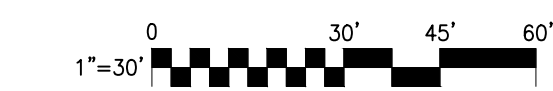
Not for permits, pricing or other official purposes. This document has not been completed or checked and is for general information or comment only.

Client/Project  
SKI LIBERTY OPERATING CORP.

115 SANDERS ROAD  
PARKING LOT ADDITION  
BOROUGH OF CARROLL VALLEY, ADAMS COUNTY, PA

Title  
EXISTING CONDITIONS PLAN

Project No. 202711948  
Revision 3  
Scale 1" = 30'  
Sheet 2 of 13  
Drawing No. C-101



\\wds\p\proj\202711948\c\k\m\working\arch\102711948c-101 ORIGINAL SHEET - ARCH D



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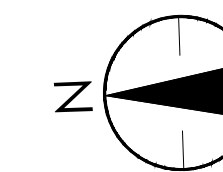
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Notes

1. THE PURPOSE OF THIS PLAN IS TO CONSOLIDATE TWO (2) PARCELS INTO ONE (1) PARCEL.

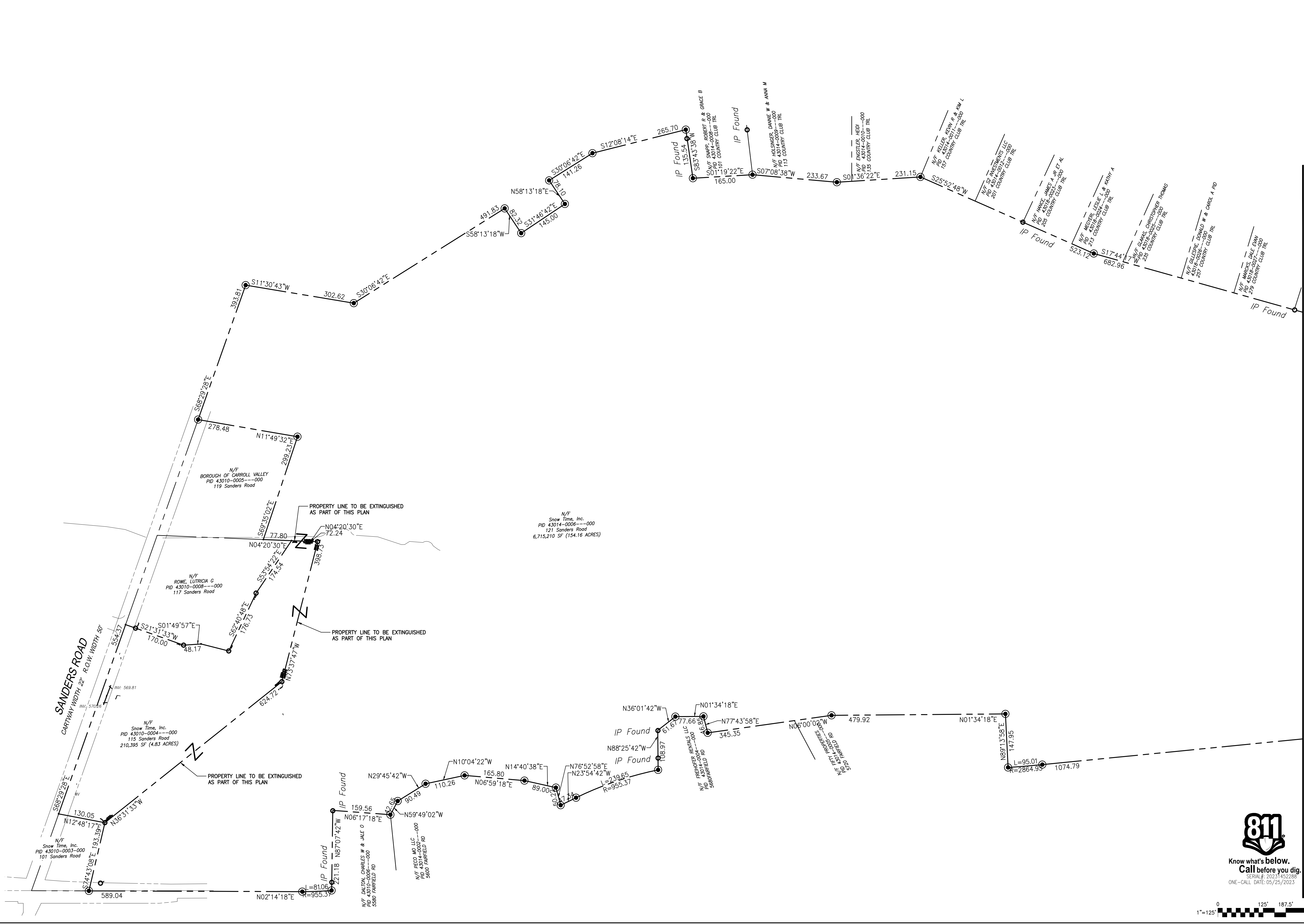
LOT CONSOLIDATION TABLE

PID 43010-0004-000	210,395 SF (4.83 ACRES)
PID 43010-0006-000	6,715,210 SF (154.16 ACRES)
TOTAL	6,925,605 SF (158.99 ACRES)



LEGEND	
RIGHT OF WAY	---
PROPERTY LINE	---
IRON PIN	○
PROPERTY CORNER	●

D  
C  
B  
A



MATCHLINE

Revision	By	Appd	Date
3. BOROUGH REVIEW COMMENTS	NY	BS	2023.10.10
2. ACCD REVIEW COMMENTS	AD	BS	2023.08.16
1. ACCD REVIEW COMMENTS	AD	BS	2023.08.11

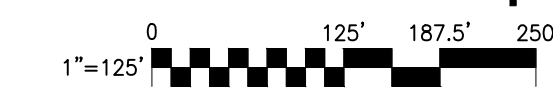
File Name: 20211948C-111 NRY GCI BS 2023.07.20  
Dwn. Dsgn. Chkd. YYYY.MM.DD

Permit/Seal  
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Client/Project  
SKI LIBERTY OPERATING CORP.  
115 SANDERS ROAD  
PARKING LOT ADDITION  
BOROUGH OF CARROLL VALLEY, ADAMS COUNTY, PA

Title  
LOT CONSOLIDATION PLAN - NORTH

Project No. 20211948	Scale 1"=125'
Revision Sheet 3 of 13	Drawing No. C-111



\\vadm\pdr\01\unresd\_projects\20211948C-111\Arch\Working\label\Rev\20211948C-111 ORIGINAL SHEET - ARCH D







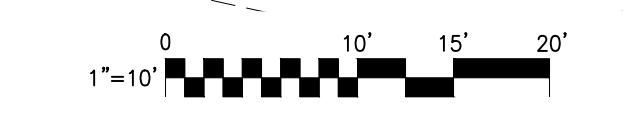
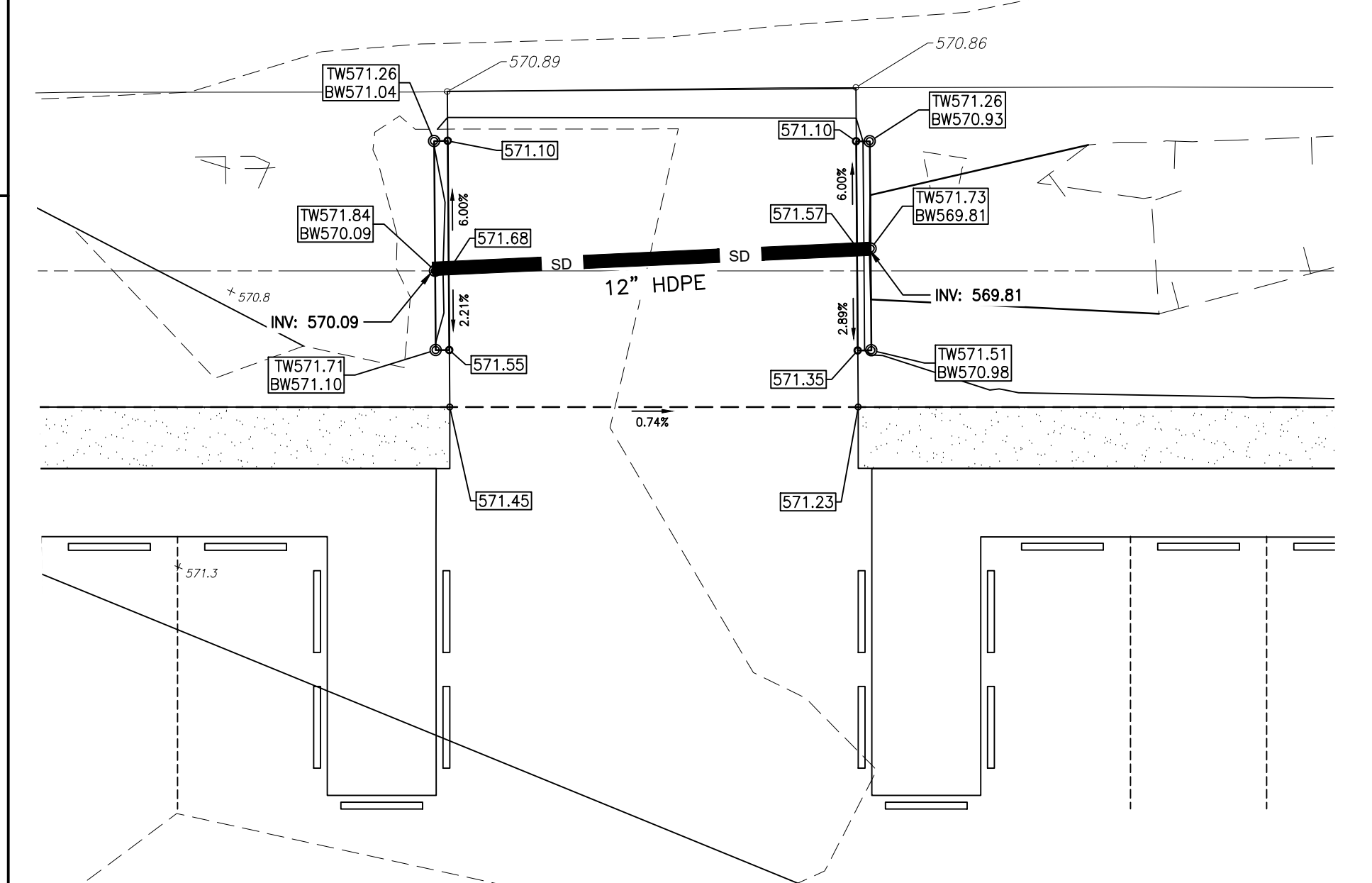
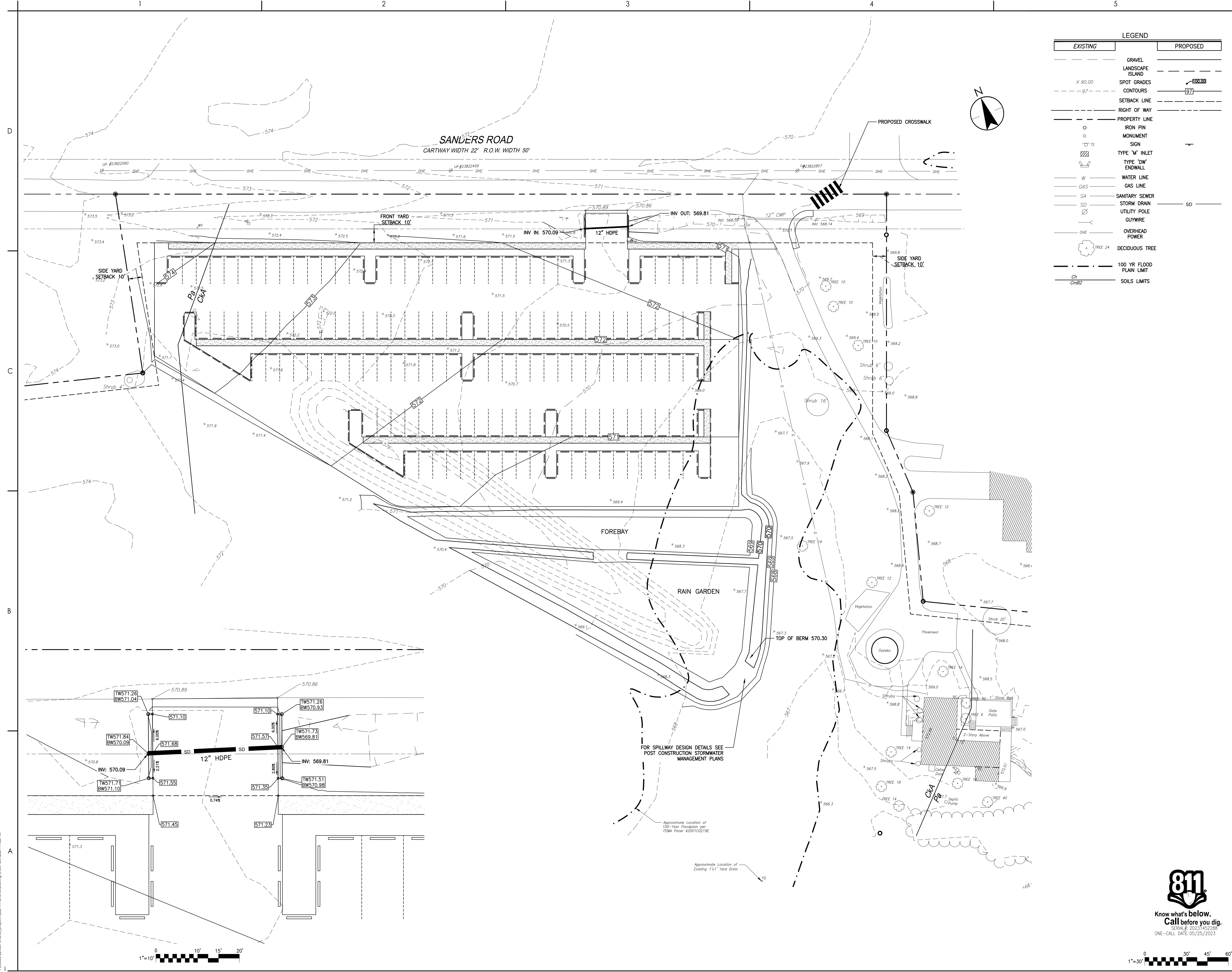
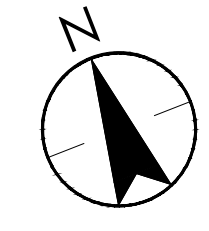
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Notes

- PRIOR TO DEMOLITION AND EXCAVATION VERIFY LOCATIONS AND ELEVATIONS OF EXISTING CONDITIONS INCLUDING, BUT NOT LIMITED TO: UTILITIES, UTILITY BOXES, POLES, FIRE HYDRANTS, VAULTS AND SIMILAR STRUCTURES. NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY OF ANY DISCREPANCIES. FAILURE TO NOTIFY OWNER'S REPRESENTATIVE OF DISCREPANCIES BETWEEN PLANS AND ACTUAL SITE CONDITIONS CONSTITUTES CONTRACTORS ACCEPTANCE OF EXISTING CONDITIONS.
- PROPOSED CONTOURS AND SPOT ELEVATIONS ARE TO FINISHED GRADE.
- CONTRACTOR IS RESPONSIBLE FOR CONDUCTING EARTHWORK OPERATIONS TO PROVIDE THE FINISHED GRADES AS SHOWN ON THE DRAWINGS. IMPORT/EXPORT OF MATERIAL NECESSARY TO COMPLETE THE WORK SHOWN ON THE DRAWINGS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL NOTIFY THE APPROPRIATE INSPECTION AGENCIES IN ACCORDANCE WITH LOCAL CODE FOR FIELD INSPECTION DURING CONSTRUCTION.
- CONSTRUCTION SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER OR THE OWNER'S REPRESENTATIVES SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OR PERSONS ENGAGED IN THE WORK.
- SEED ALL AREAS WITHIN THE LIMIT OF WORK AND ALL AREAS DISTURBED BY DEMOLITION AND CONSTRUCTION. SLOPES LESS THAN 3:1 SHALL BE SEEDED WITH TEMPORARY AND PERMANENT LAWN SEEDING. SLOPES GREATER THAN 3:1 SHALL BE SEEDED WITH STEEP SLOPE MIX.
- PLANTING BEDS AND SEEDED AREAS TO RECEIVE A MINIMUM OF 6" TOPSOIL UNLESS OTHERWISE NOTED.
- DRAINAGE: PROVIDE POSITIVE DRAINAGE TO FOREBAY / RAIN GARDEN UPON PLACEMENT OF GRAVEL.
- ALL PROPERTY CORNERS, MONUMENTS, AND BENCHMARKS SHALL BE PROTECTED. IF DISTURBED, A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER SHALL RESET THESE ITEMS.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THE CONSTRUCTION SET FOR PERTINENT INFORMATION.
- CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY BOTH EXISTING AND PROPOSED CONTOURS AND SPOT ELEVATIONS. IF ANY DISCREPANCIES ARISE, CONTACT THE DEIGN PROFESSIONAL IMMEDIATELY.

LEGEND	
EXISTING	PROPOSED
	GRAVEL
	LANDSCAPE ISLAND
	SPOT GRADES
	CONTOURS
	SETBACK LINE
	RIGHT OF WAY
	PROPERTY LINE
	IRON PIN
	MONUMENT
	SIGN
	TYPE 'M' INLET
	TYPE 'DW' ENDWALL
	WATER LINE
	GAS LINE
	SANITARY SEWER
	STORM DRAIN
	UTILITY POLE
	GUYWIRE
	OVERHEAD POWER
	DECIDUOUS TREE
	100 YR FLOOD PLAIN LIMIT
	SOILS LIMITS



FOR SPILLWAY DESIGN DETAILS SEE POST CONSTRUCTION STORMWATER MANAGEMENT PLANS

Approximate Location of 100-Year Floodplain per FEMA Panel 42001C0219E

Approximate Location of Existing 1'x1' Yard Drain

Revision	By	App'd	Date
3. BOROUGH REVIEW COMMENTS	NY	BS	2023.10.10
2. ACCD REVIEW COMMENTS	AD	BS	2023.08.16
1. ACCD REVIEW COMMENTS	AD	BS	2023.08.11

File Name: 202711948C-131

Revision	By	App'd	Date	
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Permit/Seal

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115 SANDERS ROAD  
PARKING LOT ADDITION  
BOROUGH OF CARROLL VALLEY, ADAMS COUNTY, PA

Title  
GRADING AND UTILITY PLAN

Project No. 202711948	Scale 1" = 30'
Revision Sheet 3 of 13	Drawing No. C-131



Know what's below.  
Call before you dig.  
ONE-CALL DATE: 05/25/2023











**EROSION CONTROL AND MAINTENANCE NOTES**

- THE DEVELOPER SHALL INFORM ALL CONTRACTORS ASSOCIATED WITH THIS PROJECT, TO STAY WITHIN THE DESIGNATED CONSTRUCTION AREA AND TO FOLLOW PROPER EROSION CONTROL METHODS.
- THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION SUB- PART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.
- PROTECTION TO EXISTING TREES AND SHRUBS SHALL BE TAKEN BY THE CONTRACTOR TO ELIMINATE UNNECESSARY DAMAGE.
- THE SITE CONTRACTOR WILL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION, STABILIZATION, AND MAINTENANCE OF ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES.
- SHOULD UNFORESEEN EROSION CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ACTION TO REMEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF INCREASED RUNOFF AND/OR SEDIMENT DISPLACEMENT. STOCKPILES OF WOOD CHIPS, HAY BALES, CRUSHED STONE AND OTHER MULCHES SHALL BE STOCK PILED AT THE SITE PRIOR TO ANY CONSTRUCTION AND HELD IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY PROBLEMS OF EROSION THAT MAY ARISE.
- ONLY LIMITED DISTURBANCE WILL BE PERMITTED TO PROVIDE ACCESS TO CONSTRUCT BASIN, TRAPS, AND OTHER EROSION CONTROLS.
- EROSION AND SEDIMENTATION CONTROLS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE WITHIN THE TRIBUTARY AREAS OF THOSE CONTROLS.
- TOPSOIL AND TREES, INCLUDING ROOTS, SHALL BE REMOVED FROM AREAS PROPOSED FOR GRADING. IT SHALL BE STOCKPILED AND TEMPORARILY SEEDED UNTIL AREAS HAVE BEEN GRADED. ONCE THE AREA HAS REACHED FINAL GRADE THE TOPSOIL CAN BE REDISTRIBUTED FOR APPLICATION OF PERMANENT SEEDING.
- ALL PUMPED OF SEDIMENT LADEN WATER SHALL THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.
- THE OPERATOR IS TO BALANCE CUT/FILL USING ON-SITE MATERIALS. IF BORROW MATERIAL IS REQUIRED OR OFF-SITE DISPOSAL OF EXCESS MATERIAL IS REQUIRED, THE OPERATOR IS RESPONSIBLE TO PERFORM ENVIRONMENT DUE DILIGENCE AND DETERMINE THAT ALL SOIL MEETS THE DEFINITION OF CLEAN FILL.
- THE DEFINITIONS FOR THE FOLLOWING TERMS ARE LISTED AND ARE TAKEN FROM THE DEPARTMENT OF ENVIRONMENTAL PROTECTION PERMIT SUMMARY SHEET ON PAGE 6.  
**CLEAN FILL:** UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT THAT HAS BEEN PROCEEDED FOR RE-USE.)  
**ENVIRONMENTAL DUE DILIGENCE:** INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS.
- STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.
- TRAP(S) AND BASIN(S) SHOULD BE INSPECTED WEEKLY AND AFTER EACH RAINFALL TO INSURE ITS PROPER FUNCTIONING.
- ANY SILT FENCING THAT HAS BEEN OVERTOPPED OR UNDERMINED SHALL BE REMOVED AND REPLACED WITH A ROCK FILTER IMMEDIATELY. THEY SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL.
- ANY DISTURBED AREA ON WHICH ACTIVITY HAS CEASED AND WHICH WILL REMAIN EXPOSED MUST BE STABILIZED IMMEDIATELY. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE RECOMMENDED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN 1 YEAR MAY BE STABILIZED IN ACCORDANCE WITH TEMPORARY SEEDING SPECIFICATIONS. DISTURBED AREAS WHICH ARE EITHER AT FINISHED GRADE OR WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT SEEDING SPECIFICATIONS.
- DIVERSIONS, CHANNELS, SEDIMENT TRAPS, AND STOCKPILES MUST BE STABILIZED IMMEDIATELY.
- ALL BERMS AND SWALES SHALL BE LINED WITH EROSION CONTROL BLANKETS DURING NON-GERMINATION PERIODS. THIS REQUIREMENT MAY BE WAIVED BY THE CONSERVATION DISTRICT DURING SEED GERMINATION PERIODS.
- ALL SLOPES STEEPER THAN 3:1 MUST BE STABILIZED WITH AN EROSION CONTROL BLANKET.
- ALL NECESSARY SOIL EROSION AND SEDIMENT CONTROL MEASURES INSTALLED (SILT FENCES, STONE FILTERS, SEDIMENT TRAPS, ETC.) SHALL BE ADEQUATELY MAINTAINED BY THE SITE CONTRACTOR.
- WHENEVER SEDIMENTATION IS CAUSED BY STRIPPING VEGETATION, RE-GRADING OR DEVELOPMENT IN GENERAL, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE SEDIMENT FROM ALL ADJOINING PROPERTIES, SURFACES, DRAINAGE SYSTEMS AND WATER COURSES IMMEDIATELY.
- ALL SURROUNDING STREETS ARE TO BE KEPT CLEAN OF ALL SEDIMENT.
- ALL SEEDED AREAS WHICH HAVE BEEN WASHED AWAY WILL BE FILLED, RE-SEEDED AND MULCHED IMMEDIATELY.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION BMP'S AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL SITE INSPECTIONS WILL BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PURPOSE. THE COMPLIANCE ACTION AND THE DATE, TIME AND THE NAME OF THE PERSON CONDUCTING THE INSPECTION. THE INSPECTION LOG WILL BE KEPT ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE DISTRICT UPON REQUEST.
- ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, RE-GRADING, RESEEDING, RE-MULCHING, AND RE-NETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENTATION BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMP'S OR MODIFICATIONS OF THOSE INSTALLED WILL BE NEEDED.  
WHERE BMP'S FAIL TO ALLEVIATE EROSION OR SEDIMENT POLLUTION, THE PERMITTEE OR CO-PERMITTEE SHALL INCLUDE THE FOLLOWING INFORMATION:  
A) THE LOCATION AND SEVERITY OF THE BMP'S FAILURE AND ANY POLLUTION EVENTS.  
B) ALL STEPS TAKEN TO REDUCE, ELIMINATE AND PREVENT THE RECURRENCE OF THE NON-COMPLIANCE.  
C) THE TIME FRAME TO CORRECT THE NON-COMPLIANCE, INCLUDING THE EXACT DATES WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE.
- THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL WASTES AT THE SITE. CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR TO AN APPROVED DUMPING SITE.
- AT STREAM CROSSINGS, 50 FEET STREAM BASIN BUFFER AREAS SHALL BE MAINTAINED. IN BUFFER AREAS, CLEARING, SOD DISTURBANCE, EXCAVATION AND EQUIPMENT TRAFFIC SHALL BE MINIMIZED. ACTIVITIES SUCH AS STACKING CUT LOGS, BURNING CLEARED BRUSH, DISCHARGING RAINWATER FROM TRENCHES, WELDING PIPE SECTIONS, REFUELING AND MAINTAINING EQUIPMENT SHALL BE ACCOMPLISHED OUTSIDE OF BUFFERS.
- IF FURTHER ASSISTANCE IS NEEDED FOR THE PROPER IMPLEMENTATION OF THIS PLAN PLEASE CONTACT THE CONSERVATION DISTRICT.
- A PREPAREDNESS PREVENTION AND CONTINGENCY PLAN MUST BE PREPARED AND SUBMITTED TO THE COUNTY CONSERVATION DISTRICT BEFORE PROVIDING FUELING STORAGE AND FILLING AREAS ON SITE.
- THE WASHING OF CONCRETE TRUCKS AND DUMPING EXCESS CONCRETE IS PROHIBITED ON SITE.

**MAINTENANCE SCHEDULE**

MAINTENANCE OF SITE EROSION AND SEDIMENT CONTROLS SHALL INCLUDE THE FOLLOWING PROCEDURES, AS WELL AS THE SPECIFIC BMP

REPAIRS AS NOTED BELOW:

- VISUAL INSPECTION OF ALL TEMPORARY BMP'S SHALL BE COMPLETED WEEKLY AND AFTER EACH RAINFALL EVENT.
- REPAIR AND/OR REPLACEMENT OF ANY TEMPORARY BMP'S MUST BE COMPLETED WITHIN 24 HOURS OF DISCOVERY.
- A DAILY LOG SHOWING DATES OF VISUAL INSPECTION AND MAINTENANCE SHALL BE KEPT ON SITE.

CONTROL	PROBLEMS TO LOOK FOR	POSSIBLE REMEDIES
VEGETATION	RILLS OR GULLIES FORMING	CHECK FOR TOP-OF-SLOPE DIVERSION AND INSTALL IF NEEDED
	BARE SOIL PATCHES	FILL RILLS AND REGRADE GULLIED SLOPES
	SEDIMENT AT TOE OF SLOPE	RESEED, FERTILIZE AND MULCH BARE AREAS
SWALES	GULLY ON SLOPE BELOW	REPAIR BREACHES. BUILD UP LOW POINTS WITH COMPACTED SOIL OR SANDBAGS
	SEDIMENT OR DEBRIS IN CHANNEL	REBUILD SWALES WITH POSITIVE DRAINAGE, REMOVE OBSTRUCTIONS
	EROSION OF UNLINED CHANNEL	SEED AND MULCH SWALE AND ANCHOR WITH NETTING; OR LINE SWALE WITH CRUSHED ROCK; OR INSTALL CHECK DAMS; OR REALIGN SWALE ON GENTLER GRADIENT; OR DIVERT SOME OR ALL OF SWALES
	EROSION OF CHANNEL LINING	DRAINAGE TO A MORE STABLE FACILITY INSTALL LARGER RIPRAP; OR RESEED, MULCH AND ANCHOR WITH NETTING; OR INSTALL CHECK DAMS; OR PAVE CHANNEL
PUMPER WATER FILTER DEVICE	RIPPED BAG	REPLACE BAG
	BAG 1/2 FULL	DISPOSE OF SEDIMENT PER "ANTICIPATED WASTE MATERIAS, RECYCLING AND DISPOSAL METHODS". IF BAG CAN NOT BE REUSED, RINSE REMAINING SEDIMENT INTO AN APPROVED DEVICE (ANOTHER BAG, SEDIMENT TRAP, BASIN, ETC.) AND DISPOSE OF IN ACCORDANCE WITH LOCAL CODES
COMPOST FILTER SOCK	DISPLACEMENT OF FILTER SOCK	CHECK WOODEN STAKE AND ADD ADDITIONAL STAKES TO MAINTAIN SOCK LOCATION
	CHECK DRAINAGE AREA, SLOPE LENGTH AND GRADIENT BEHIND BARRIER. CORRECT ANY SUBSTANDARD CONDITION	
	RUNOFF ESCAPING AROUND	EXTEND FILTER SOCK
	SEDIMENT NEAR TOP OF FILTER SOCK	REMOVE SEDIMENT WHEN LEVEL REACHES HALF OF FILTER SOCK HEIGHT
ROCK CONSTRUCTION	ROCK DEPTH DECREASED FROM	ADDITIONAL STONE SHOULD BE PLACE TO ENSURE THICKNESS MEETS
ENTRANCE W/ WASH RACK	CONSTRUCTION TRAFFIC	STANDARD DETAILS THROUGHOUT CONSTRUCTION
	DRAINAGE UNDER RACK NOT FLOWING	REPAIR OR CLEAN OUT DRAIN PRIOR TO CONTINUED USE OF THE ENTRANCE
	SEDIMENT TRACKED INTO ROADWAY	IMMEDIATELY REMOVE WASH AND/OR CLEAN ANY SEDIMENT TRACKED ONTO ROAD WAY AND CLEAN AND/OR ADD STONE

**STANDARD WORKSHEET #21 (TEMPORARY, AND PERMANENT STABILIZATION)**

(TEMPORARY)	*SPECIES:	Annual Rye Grass	
	% PURE LIVE SEED:	83%	%
	APPLICATION RATE:	40	LB./ACRE
	FERTILIZER TYPE:	N-P-O-K-O (10-10-10)	(X-X-X)
	FERTILIZER APPL. RATE:	500	LB./ACRE
	LIMING RATE:	1	T./ACRE
	MULCH TYPE:	Hay or Straw	
	MULCHING RATE:	3	T./ACRE
(PERMANENT)	TOPSOIL PLACEMENT DEPTH:	4 to 8	IN.
	*SPECIES:	Kentucky Bluegrass, Perennial Ryegrass	
	% PURE LIVE SEED:	30, 20	%
	APPLICATION RATE:	10, 8	LB./ACRE
	FERTILIZER TYPE:	N-P-O-K-O (10-20-20)	(X-X-X)
	FERTILIZER APPL. RATE:	1000	LB./ACRE
	LIMING RATE:	6 (or based on soils test)	T./ACRE
	MULCH TYPE:	Straw	
	MULCHING RATE:	3	T./ACRE
	ANCHOR MATERIAL:	Mulch Binder	
	ANCHORING METHOD:	Mulch Binder per manufacturer recommendations	
	RATE OF ANCHOR MATERIAL APPL.:	Per manufacturer recommendations	LB./ACRE
	SEEDING SEASON DATES:	Early Spring and Late Fall	
(PERMANENT - STEEP SLOPE)	TOPSOIL PLACEMENT DEPTH:	4 to 8	IN.
	*SPECIES:	Crownvetch, Perennial Ryegrass	
	% PURE LIVE SEED:	15, 25	%
	APPLICATION RATE:	10, 10	LB./ACRE
	FERTILIZER TYPE:	N-P-O-K-O (10-20-20)	(X-X-X)
	FERTILIZER APPL. RATE:	1000	LB./ACRE
	LIMING RATE:	6 (or based on soils test)	T./ACRE
	MULCH TYPE:	Straw	
	MULCHING RATE:	3	T./ACRE
	ANCHOR MATERIAL:	Erosion Control Blanket (as noted on plans)	
	ANCHORING METHOD:	Erosion Control Blanket Anchoring (as noted on plans)	
	RATE OF ANCHOR MATERIAL APPL.:	N/A	LB./ACRE
	SEEDING SEASON DATES:	Early Spring and Late Fall	

\*If more than one species is used, indicate application rate for each species.

**GENERAL SEEDING SPECIFICATIONS**

THE DEPARTMENT RECOMMENDS THE PENN STATE "EROSION CONTROL & CONSERVATION PLANTINGS ON NONCROPLANDS" MANUAL DATED 1997 AS THE STANDARD TO USE FOR THE SELECTION OF SPECIES, SEED SPECIFICATIONS, MIXTURES, LIMING AND FERTILIZING, TIME OF SEEDING AND SEEDING METHODS. THE MANUAL IS AVAILABLE FROM COUNTY COOPERATIVE EXTENSION SERVICE OFFICES. THESE STANDARDS MAY BE SUPPLEMENTED BY REFERENCE TO SECTION 804, PENN DOT PUBLICATION 408. LOCALIZED SEEDING RECOMMENDATIONS MAY ALSO BE AVAILABLE FROM COUNTY CONSERVATION DISTRICT OFFICES.

THE DEPARTMENTS REGULATIONS (SECTION 102.12(2)) REQUIRE A UNIFORM EROSION RESISTANT PERENNIAL VEGETATIVE COVER OF AT LEAST 70% OF THE DISTURBED AREA TO BE STABILIZED WITH VEGETATION BEFORE A SITE IS CONSIDERED TO BE PERMANENTLY STABILIZED WITH VEGETATION. UNTIL SUCH A TIME THAT THIS STANDARD IS ACHIEVED, INTERM STABILIZATION CONTROL MEASURES AND FACILITIES THAT ARE USED TO TREAT PROJECT RUNOFF MAY NOT BE REMOVED.

USE OF THE RECOMMENDATIONS REFERENCED ABOVE WILL INCREASE THE PROBABILITY THAT VEGETATION WILL BE ESTABLISHED IN THE LEAST AMOUNT OF TIME. EXTENDING THE TIME REQUIRED TO OBTAIN THE COVERING INCREASES PROJECT MAINTENANCE COST FOR INTERIM STABILIZATION MEASURES AND INCREASES THE LIKELIHOOD FOR EROSION DAMAGE TO THE SEEDED AREA AND RESULTANT SEDIMENT RELEASES.

**PERMANENT SEEDING SPECIFICATION**

LIMESTONE: RAW, GROUND AGRICULTURAL LIMESTONE CONTAINING MORE THAN 90 PERCENT CALCIUM CARBONATES (ADJUST PH LEVELS TO 6.5 TO 7.0). APPLY AT RATE OF 6 TON PER ACRE IN ABSENCE OF A SOILS TEST. IF A SOILS TEST IS PERFORMED, APPLY AT A RATE SUGGESTED BY THAT TEST.

COMMERCIAL FERTILIZER: USE 1000 POUNDS 10-20-20 TO THE ACRE IF A SOILS TEST IS NOT PERFORMED. FERTILIZER IS MIXED INTO SEED BED PRIOR TO SEEDING, OR FERTILIZER IS PLACED IN A TANK WITH SEED. IF A SOILS TEST IS PERFORMED, APPLY AT A RATE SUGGESTED BY THAT TEST.

INOCULANT: INOCULANT FOR TREATING LEGUMINOUS SEEDS SHALL BE A STANDARD COMMERCIAL PRODUCT CONSISTING OF A SUITABLE CARRIER CONTAINING A CULTURE OF NITROGEN FIXING BACTERIA SPECIFIC FOR SEEDS TO BE INOCULATED. INOCULANT SHALL NOT BE USED LATER THAN DATE INDICATED ON THE CONTAINER.

MULCH: CLEAN OAT OR WHEAT STRAW SHALL BE FREE FROM MATURE SEED-BEARING STALKS OR ROOTS OF PROHIBITED OR NOXIOUS WEEDS AS DEFINED BY THE PA SEED ACT 1947. APPLY AT A RATE OF 3 BALES PER 1000 SQUARE FEET (3 TONS PER ACRE). PRECAUTIONS SHALL BE TAKEN TO STABILIZE MULCH UNTIL VEGETATIVE COVER IS ESTABLISHED.

SEED MIXTURE: SEED MIXTURE SHALL BEAR A GUARANTEED STATEMENT OF ANALYSIS AND SHALL BE COMPOSED OF THE FOLLOWING VARIETIES AND MIXED IN PROPORTIONS SPECIFIED:

PERMANENT SEED MIXTURE	SEEDING RATE PLS (LBS/AC)	READY PURITY (%)	HARD GERMINATION (%)	SEEDS / LB (1000)
NURSE CROP ANNUAL RYE (SPRING & FALL PLANTING)	10	5	85	227
SEED MIXTURE KENTUCKY BLUEGRASS	25	85	75	2200
PLUS PERENNIAL RYEGRASS	15	95	85	227

PREPARATION OF SEEDING: GRADE AS NECESSARY TO BRING SUBGRADE TO A TRUE, SMOOTH, SLOPE PARALLEL TO AND SIX INCHES BELOW FINISH GRADE (8 INCHES FOR EMBANKMENTS). PLACE TOPSOIL OVER SPECIFIED AREAS TO A DEPTH SUFFICIENTLY GRATER THAN 6 INCHES OR 8 INCHES SO THAT AFTER SETTLEMENT AND LIGHT ROLLING THE COMPLETE WORK WILL CONFORM TO LINES, GRADES AND ELEVATIONS SHOWN.

PERMANENT SEEDING: REFER TO TABLE 3 OF THE EROSION & CONSERVATION PLANTINGS ON NONCROPLANDS MANUAL FOR ADDITIONAL PURE LIVE SEED (PLS) INFORMATION.

FERTILIZER AND AGRICULTURAL LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL BY ROTOTILLING OR OTHER METHOD TO A MINIMUM DEPTH OF FOUR (4) INCHES. THE ENTIRE SURFACE SHALL THEN BE ROLLED. AREAS TO BE SEEDED SHALL THEN BE LOOSENEED TO A DEPTH OF TWO (2) INCHES. SEEDING SHALL BE DONE IN TWO SEPARATE OPERATIONS. THE SECOND SEEDING SHALL BE DONE IMMEDIATELY AFTER THE FIRST AND AT RIGHT ANGLES TO THE FIRST SEEDING AND LIGHTLY RAKED INTO THE SOIL. MULCH SEEDED AREAS IMMEDIATELY AFTER SEEDING.

**TEMPORARY SEEDING SPECIFICATIONS**

MULCH: CLEAN OAT OR WHEAT STRAW SHALL BE FREE FROM MATURE SEED-BEARING STALKS OR ROOTS OF PROHIBITED OR NOXIOUS WEEDS AS DEFINED BY THE PA SEED ACT 1947. APPLY AT A RATE OF 3 BALES PER 1000 SQUARE FEET (3 TONS PER ACRE). PRECAUTIONS SHALL BE TAKEN TO STABILIZE MULCH UNTIL VEGETATIVE COVER IS ESTABLISHED.

SEED MIXTURE: SEED MIXTURE SHALL BEAR A GUARANTEED STATEMENT OF ANALYSIS AND SHALL BE COMPOSED OF THE FOLLOWING VARIETIES AND MIXED IN THE PROPORTIONS SPECIFIED:

PERMANENT SEED MIXTURE	SEEDING RATE (PLS) (LBS/AC)	READY PURITY (%)	HARD GERMINATION (%)	SEEDS / LB (1000)
NURSE CROP ANNUAL RYE (UP TO JUNE 15)	40	95	85	227

ADJUST SEEDING SPECIFICATIONS IN ACCORDANCE TO THE EROSION CONTROL & CONSERVATION PLANTINGS ON NONCROPLANDS MANUAL IF SEEDING DATES EXTEND BEYOND JUNE 15.

TEMPORARY SEEDING SHALL BE APPLIED AT A RATE OF 40 POUNDS PER ACRE.

ALL AREAS TO BE SEEDED SHALL BE LOOSENEED TO A DEPTH OF AT LEAST TWO INCHES BY MECHANICAL MEANS AS APPROVED BY THE LANDSCAPE ARCHITECT.

MULCH SEEDED AREAS IMMEDIATELY AFTER SEEDING.

FOR TEMPORARY COVER APPLICATIONS, APPLY 10-20-20 COMMERCIAL FERTILIZER AT A RATE OF 1000 LBS PER ACRE.

LIME SHALL BE APPLIED AT A RATE OF SIX (6) TONS PER ACRE.

SEEDING: SEED ALL DISTURBED AREAS WITH THE TEMPORARY SEED MIXTURE EXCEPT THOSE AREAS SHOWN TO BE SEEDED WITH CROWNVEATCH, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

**STEEP SLOPE SEEDING SPECIFICATIONS**

NATIVE STEEP SLOPE MIX W/ANNUAL RYEGRASS BY ERNST CONSERVATION SEEDS, INC. 8884 MERCER PIKE, MEADVILLE PA 16335, (800) 873-3321

ERNMX # ERNMX-181

SEEDING RATE 60 LB PER ACRE, OR 1 LB PER 1,000 SQ FT

**SPECIES LIST**

- 32.2% INDIANGRASS, PA ECOTYPE (SORGHASTRUM NUTANS, PA ECOTYPE)
- 20% ANNUAL RYEGRASS (LOLIUM MULTIFLORUM (L. PERENNE VAR. ITALICUM))
- 17% VIRGINIA WILDRYE, PA ECOTYPE (ELYMUS VIRGINICUS, PA ECOTYPE)
- 8% BIG BLUESTEM, SOUTHWESTERN ECOTYPE (ANDROPOGON GERARDII), SOUTHWESTERN ECOTYPE)
- 6% AUTUMN BENTGRASS, ALBANY PINE BUSH-NY ECOTYPE (AGROSTIS PERENNANS, ALBANY PINE BUSH-NY ECOTYPE)
- 3% SWITCHGRASS, SHAWNEE (PANICUM VIRGATUM, SHAWNEE)
- 2.5% PURPLE CONEFLOWER (ECHINACEA PURPUREA)
- 2% TICKLEGRASS (ROUGH BENTGRASS), PA ECOTYPE (AGROSTIS SCABRA, PA ECOTYPE)
- 2% PURPLETOP, SOUTHEASTERN VA ECOTYPE (TRIDENS FLAVUS, SOUTHEASTERN VA ECOTYPE)
- 2% PARTRIDGE PEA, PA ECOTYPE (CHAMAECRISTA FASCICULATA (CASSIA F.), PA ECOTYPE)
- 1% LANCELEAF COREOPSIS, COASTAL PLAIN NC ECOTYPE (COREOPSIS LANCEOLATA, COASTAL PLAIN NC ECOTYPE)
- 1% OXEYE SUNFLOWER, PA ECOTYPE (HELIOPSIS HELIANTHOIDES, PA ECOTYPE)
- 1% BLACKEYED SUSAN (RUDBECKIA HIRTA)
- 0.7% SLENDER BUSHCLOVER, VA ECOTYPE (LESPEDeza VIRGINICA, VA ECOTYPE)
- 0.6% MARSH (DENSE) BLAZING STAR (SPIKED GAYFEATHER), PA ECOTYPE (LIATRIS SPICATA, PA ECOTYPE)
- 0.5% WILD BERGAMOT, FORT INDIANTOWN GAP-PA ECOTYPE (MONARDA FISTULOSA, FORT INDIANTOWN GAP-PA ECOTYPE)
- 0.4% NEW ENGLAND ASTER, PA ECOTYPE (ASTER NOVAE-ANGLIAE (SYMPHYOTRICHUM N.), PA ECOTYPE)
- 0.1% SLENDER MOUNTAINMINT (PYCNANTHEMUM TENUIFOLIUM)

**SITE PREPARATION & SEEDING STEEP SLOPES**

ERADICATE EXISTING VEGETATION BY HAVING A LICENSED SPRAY TECHNICIAN APPLY AN APPROVED HERBICIDE. REGRADE THE SITE TO REDUCE SLOPE AND BUILD DIVERSIONS WHICH WILL REDUCE EROSION AND MINIMIZE SEED LOSS.

FOR AREAS WITH SLOPE GREATER THAN 3:1, ANY FINAL TRACKING OF THE SITE SHOULD BE DONE PERPENDICULAR TO THE SLOPE. THE TRACKS WILL HELP REDUCE EROSION, RETAIN SEED AND SEED MOISTURE.

ADD TOPSOIL OR ORGANIC MATTER (COMPOST) TO PROVIDE PROPER SOIL PH. ADD LIME AND FERTILIZER AS RECOMMENDED BY SOIL ANALYSIS. INCORPORATING ANY AMENDMENTS INTO THE SOIL SHOULD BE DONE IN A MANNER, SUCH AS TRACKING, THAT WILL LEAVE THE SOIL ROUGH AND

SEEDING METHOD: BROADCAST (BY HAND OR MACHINE), DRILL OR HYDROSEED. FOR AREAS WITH SLOPE LESS THAN 3:1, COVER THE SEED 1/8"-1/4" DEEP BY DRAGGING WITH A LIGHT HARROW OR FIRMLY PRESS THE SEED INTO THE SOIL USING A CULTIPACKER, LAWN ROLLER OR THE WHEELS OF AN ATV.

MULCH WITH STRAW, HYDROMULCH OR STRAW/COCONUT FIBER MATS. PROTECT THE SEED FROM DRYING OUT OR WASHING AWAY.

**FIRST GROWING SEASON MAINTENANCE**

WHENEVER CANOPY (OVERALL VEGETATION) REACHES A HEIGHT OF 18"-24". USE A MOWER OR STRING TRIMMER TO TRIM THE MEADOW TO A HEIGHT OF 8". THIS WILL REDUCE COMPETITION BY FAST-GROWING WEEDS FOR SUNLIGHT, WATER AND NUTRIENTS NEEDED BY SLOWER GROWING, PERENNIAL NATIVES. MOWING SHOULD NOT BE DONE WITH A LAWN MOWER AS THE MOWER HEIGHT WILL BE TOO LOW AND NATIVE SEEDLINGS WILL BE KILLED. IF BIOENGINEERING MATERIALS ARE USED ON THE SITE, MOWING SHOULD BE ABOVE THE NEW GROWTH OF THESE MATERIALS. MOWING SHOULD CEASE BY MID-SEPTEMBER.

PROBLEM WEEDS SHOULD BE SPOT SPRAYED WITH AN HERBICIDE (SUCH AS ROUNDUP®) OR HAND PULLED.

**SECOND & SUBSEQUENT GROWING SEASON MAINTENANCE**

PRIOR TO NEW SPRING GROWTH REACHING A HEIGHT OF 2" TRIM ANY MATERIAL STANDING FROM THE PREVIOUS YEAR CLOSE TO THE GROUND (APPROXIMATELY 2").

PROBLEM WEEDS SHOULD BE SPOT SPRAYED OR HAND PULLED.

**SPECIAL CIRCUMSTANCES - SECOND GROWING SEASON**

IF A HEAVY INFESTATION OF RAGWEED OR FOXTAIL IN THE SECOND GROWING SEASON, TRIM THE MEADOW TO A HEIGHT OF 8". TRIMMING SHOULD CEASE BY MID-SEPTEMBER. HOWEVER, VEGETATION ALLOWED TO GROW WITHOUT MOWING PROVIDES MORE PROTECTION FOR WILDLIFE AND AIDS IN EROSION CONTROL.



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**Notes**

3.	BOROUGH REVIEW COMMENTS	NY	BS	2023.10.10
2.	ACCD REVIEW COMMENTS	AD	BS	2023.08.16
1.	ACCD REVIEW COMMENTS	AD	BS	2023.08.11

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File Name: 202711948C-141	NRV	GCI	BS	2023.07.20
	Dwn.	Dsgn.	Chkd.	YYYY.MM.DD

Permit/Seal				
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Client/Project  
**SKI LIBERTY OPERATING CORP.**

115 SANDERS ROAD  
PARKING LOT ADDITION  
BOROUGH OF CARROLL VALLEY, ADAMS COUNTY, PA

Title  
**EROSION & SEDIMENT CONTROL NOTES**

Project No. 202711948  
Scale 1" = 30'

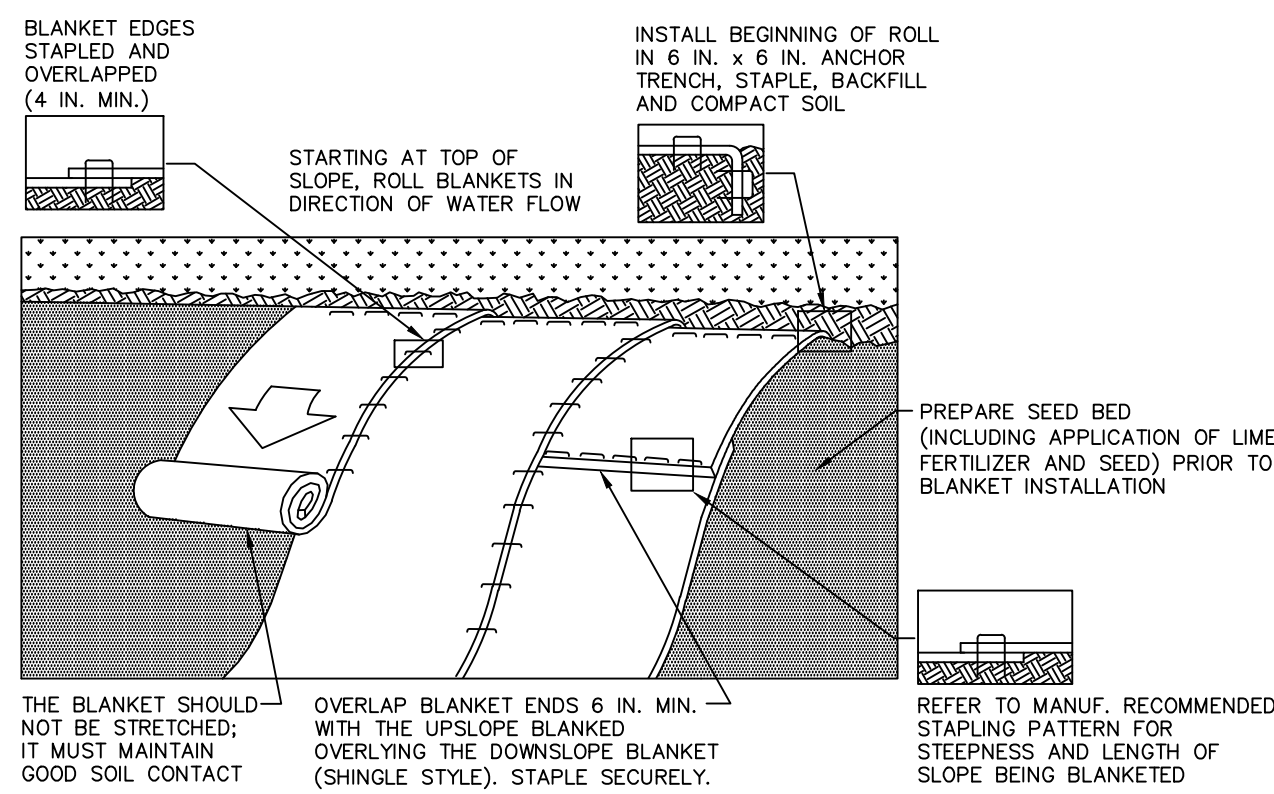
Revision 3  
Sheet 9 of 13  
Drawing No. C-143





POST CONSTRUCTION STORMWATER MANAGEMENT NOTES

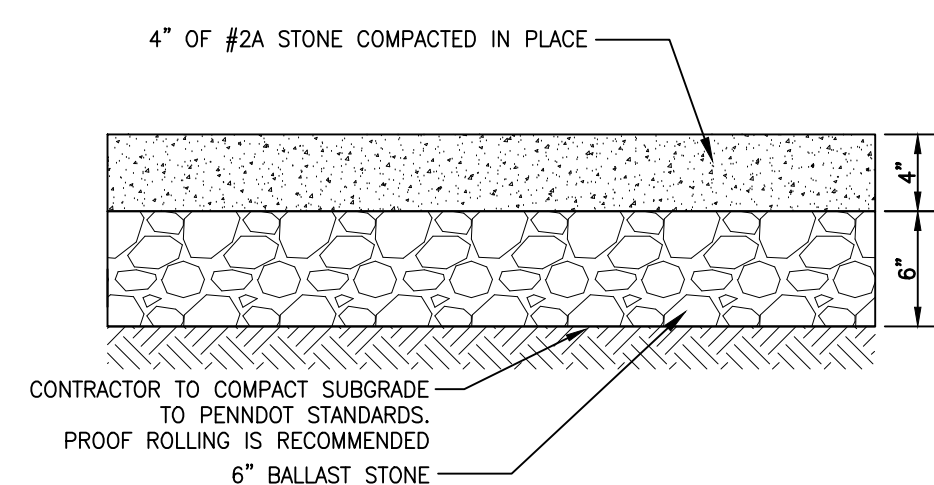
- THE PROPOSED DURING CONSTRUCTION FEATURES PRESERVE THE INTEGRITY OF THE STREAM AND MAINTAIN AND PROTECT THE PHYSICAL, BIOLOGICAL AND CHEMICAL QUALITIES OF THE RECEIVING STREAM BY ALLOWING FOR EXTENDED DETENTION AND FILTRATION OF THE RUNOFF AND COOLING OF THE POTENTIAL THERMAL IMPACTS IN THE VEGETATED SWALES, DIVERSION AREAS AND ABOVE GROUND SEDIMENT BASINS PRIOR TO DISCHARGE.
- THE PROPOSED PCSM FEATURES PREVENT ANY INCREASE IN RATE OF STORMWATER RUNOFF FOR LARGER STORMS BY ROUTING THE RUNOFF THROUGH THE PROPOSED BASINS AND ON-LOT BEDS TO OFF-SITE DISCHARGE.
- THE PROPOSED PCSM FEATURES MINIMIZE ANY INCREASE IN STORMWATER RUNOFF VOLUME BY PROVIDING EXTENDED INFILTRATION, FILTRATION AND EVAPOTRANSPIRATION BMP'S SIZED TO ALLOW FOR THE ON-SITE TREATMENT OF THE INCREASE IN THE 2-YEAR RUNOFF VOLUME.
- THE PROPOSED IMPROVEMENTS MINIMIZE IMPERVIOUS COVER UTILIZING GRAVEL FOR THE PARKING AREA AND PLANTED ISLANDS. IMPERVIOUS COVERAGE IS LIMITED THE EXISTING RESIDENCE AND DRIVEWAY FOR THE EXISTING LOT AND RESIDENCE.
- THE PROPOSED IMPROVEMENTS MAXIMIZES THE PROTECTION OF EXISTING DRAINAGE FEATURES AND EXISTING VEGETATION BY LIMITING THE AREA OF ALLOWABLE DISTURBANCE DURING CONSTRUCTION. NO EXISTING SURFACE DRAINAGE FEATURES WILL BE IMPACTED BY THE PROPOSED IMPROVEMENTS.
- THE PROPOSED IMPROVEMENTS MINIMIZES LAND CLEARING AND MINIMIZES SOIL COMPACTION BY LIMITING THE AREA OF DISTURBANCE TO THE AREAS NEEDED FOR THE PROPOSED DEVELOPMENT.
- CONTRACTOR'S ON SITE ENGINEER SHALL BE RESPONSIBLE FOR VERIFYING CONSTRUCTION PER DESIGN DOCUMENTS, COORDINATING AND DOCUMENTING INSPECTIONS REQUIRED BY CONSERVATION DISTRICT, BOROUGH ENGINEERS AND ALL REQUIRED RECORDING OF AS BUILT DRAWINGS.
- CONTRACTOR SHALL NOTIFY THE APPROPRIATE INSPECTION AGENCIES IN ACCORDANCE WITH LOCAL CODE FOR FIELD INSPECTION DURING CONSTRUCTION.
- ADJUST ELEVATIONS OF ANY EXISTING STRUCTURES TO MEET PROPOSED FINISHED GRADES AS REQUIRED. ALL EXISTING STRUCTURES TO REMAIN UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE FOR THE IMPORT/EXPORT OF MATERIAL NECESSARY TO COMPLETE THE WORK SHOWN ON THE DRAWINGS.
- WORK SHALL INCLUDE BUT NOT BE LIMITED TO, UNCLASSIFIED EXCAVATION, DISPOSAL OF EXCAVATED MATERIAL, CLEARING AND GRUBBING AS NECESSARY, SHEETING AND SHORING AS NECESSARY, INSTALLATION OF STRUCTURES, AND RELATED CONVEYANCE AMENITIES INCIDENTAL TO THE WORK. THE WORK SHOWN ON THIS PLAN SHALL PERTAIN TO ALL SYSTEMS LOCATED ON SITE OR WITHIN THE PROPERTY BOUNDARY LIMITS ONLY.
- PRIOR TO CONSTRUCTION VERIFY LOCATIONS AND ELEVATIONS OF EXISTING CONDITIONS, UTILITIES, UTILITY BOXES, POLES, FIRE HYDRANTS, VAULTS AND SIMILAR STRUCTURES. COORDINATE ELEVATION / CROSSING OF UTILITIES.
- REMOVE EXCESS EXCAVATED MATERIALS FROM THE PROJECT SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- THE OWNER AGREES TO MAINTAIN, OPERATE AND INSPECT THE PRIVATE ON-SITE STORMWATER MANAGEMENT FACILITY SO LONG AS THEY OWN THE PROPERTY.
- SOILS TESTING HAS BEEN COMPLETED IN THE AREAS OF THE PROPOSED BMP'S. NO GEOLOGIC FORMATIONS WITH THE POTENTIAL TO CAUSE POLLUTION HAVE BEEN IDENTIFIED. IF SUCH GEOLOGIC FORMATIONS ARE ENCOUNTERED, DEP, THE CONSERVATION DISTRICT, THE TOWNSHIP AND THE DESIGN ENGINEER ARE TO BE NOTIFIED IMMEDIATELY.
- FINAL AS-BUILT PLANS OF THE STORMWATER FACILITIES SHALL BE PROVIDED THE BOROUGH AND CONSERVATION DISTRICT WHEN CONSTRUCTION OF THE FACILITIES IS COMPLETE AND THE SITE IS STABILIZED.



NOTES:  
 SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.  
 PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.  
 SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.  
 BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.  
 THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.  
 BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

**STANDARD CONSTRUCTION DETAIL #11-1  
 EROSION CONTROL BLANKET INSTALLATION**

NOT TO SCALE

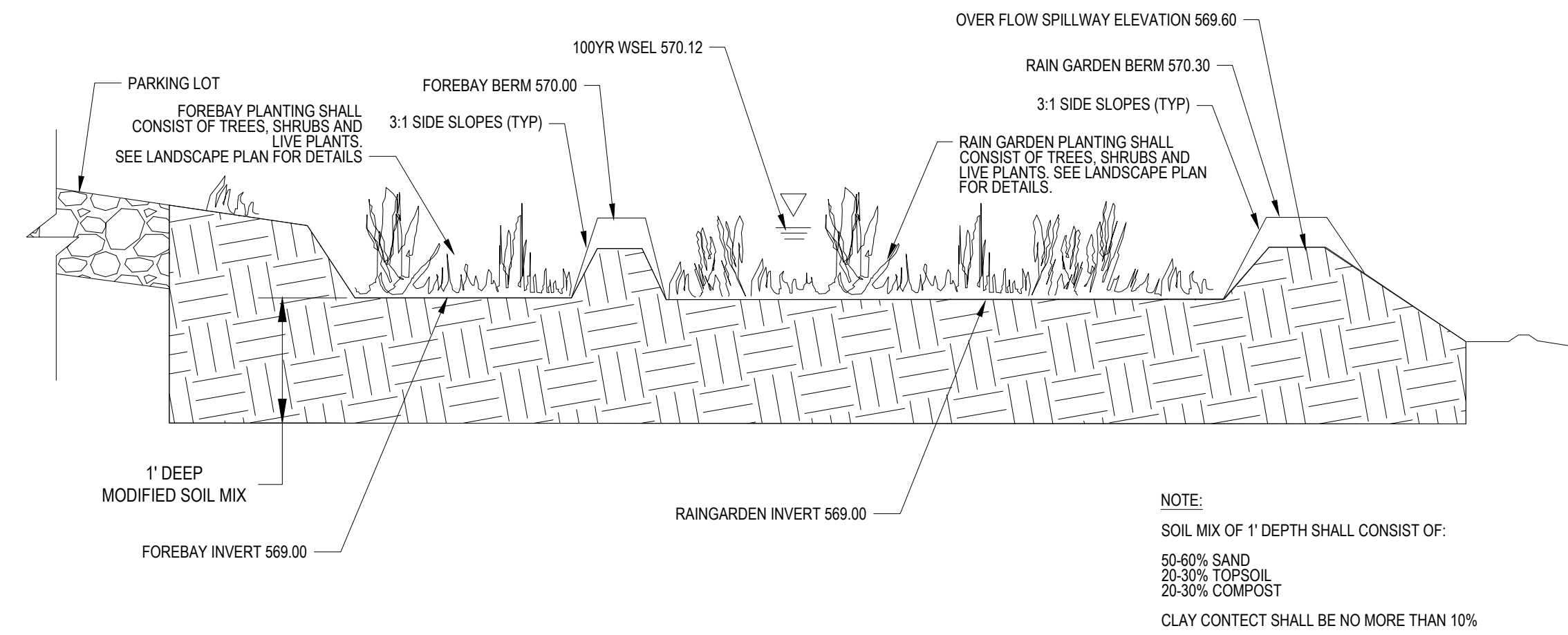


**ON-SITE GRAVEL PARKING SECTION DETAIL**

NOT TO SCALE

SOIL LIMITATIONS AND RESOLUTIONS:

- MOST PENNSYLVANIA SOILS ARE SUSCEPTIBLE TO THE CAVING OF CUT BANKS. AS A RESULT, IT IS IMPERATIVE THAT THE CONTRACTOR PERFORM ALL EXCAVATION OPERATIONS IN ACCORDANCE WITH THE APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS AND REGULATIONS. THE CONTRACTOR MAY UTILIZE TRENCH BOXES OR OTHER PRACTICAL SHORING METHODS DURING CONSTRUCTION TO ENSURE EMPLOYEE SAFETY.
- THE VAST MAJORITY OF PENNSYLVANIA SOILS ARE CORROSIVE TO CONCRETE, UNCOATED STEEL, OR BOTH. SUITABLE PRECAUTIONS SHOULD BE TAKEN TO PROTECT UNDERGROUND PIPES, CONDUITS, AND STORAGE TANKS.
- PRECAUTIONS SHOULD BE TAKEN TO PREVENT SLOPE FAILURES DUE TO IMPROPER CONSTRUCTION PRACTICES SUCH AS OVER-STEEPENING AND OVERLOADING OF SLOPES, REMOVAL OF LATERAL SUPPORT, AND FAILURE TO PREVENT SATURATION OF SLOPES. SETBACKS SHOULD COMPLY WITH THE PADEP SETBACK STANDARDS UNLESS IT CAN BE SHOWN THAT PROPOSED CUT AND FILL DO NOT POSE A HAZARD TO PUBLIC SAFETY OR TO SURFACE WATERS.
- AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.



NOTE:  
 SOIL MIX OF 1' DEPTH SHALL CONSIST OF:  
 50-60% SAND  
 20-30% TOPSOIL  
 20-30% COMPOST  
 CLAY CONTENT SHALL BE NO MORE THAN 10%

GENERAL NOTES

- EXISTING SUBGRADE IN RAIN GARDEN/BIORETENTION BED SHALL NOT BE COMPACTED OR SUBJECT TO EXCESSIVE CONSTRUCTION EQUIPMENT TRAFFIC.
- INITIAL EXCAVATION CAN BE PERFORMED DURING ROUGH SITE GRADING BUT SHALL NOT BE CARRIED TO WITHIN ONE FOOT OF THE FINAL BOTTOM ELEVATION. FINAL EXCAVATION SHOULD NOT TAKE PLACE UNTIL ALL DISTURBED AREAS IN THE DRAINAGE AREA HAVE BEEN STABILIZED.
- WHERE EROSION OF SUBGRADE HAS CAUSED ACCUMULATION OF FINE MATERIALS AND/OR SURFACE PONDING IN THE GRADED BOTTOM, THIS MATERIAL SHALL BE REMOVED WITH LIGHT EQUIPMENT AND THE UNDERLYING SOILS SCARIFIED TO A MINIMUM DEPTH OF 6 INCHES WITH A YORK RAKE OR EQUIVALENT.
- BRING SUBGRADE OF BIORETENTION AREA TO LINE, GRADE AND ELEVATIONS INDICATED. FILL AND LIGHTLY RE-GRADE ANY AREAS DAMAGED BY EROSION, PONDING OR TRAFFIC COMPACTION. HALT EXCAVATION AND NOTIFY OWNER AND ENGINEER IMMEDIATELY IF EVIDENCE OF SINKHOLE ACTIVITY OR PINNACLES OF CARBONITE BEDROCK ARE ENCOUNTERED IN THE BIORETENTION AREA.

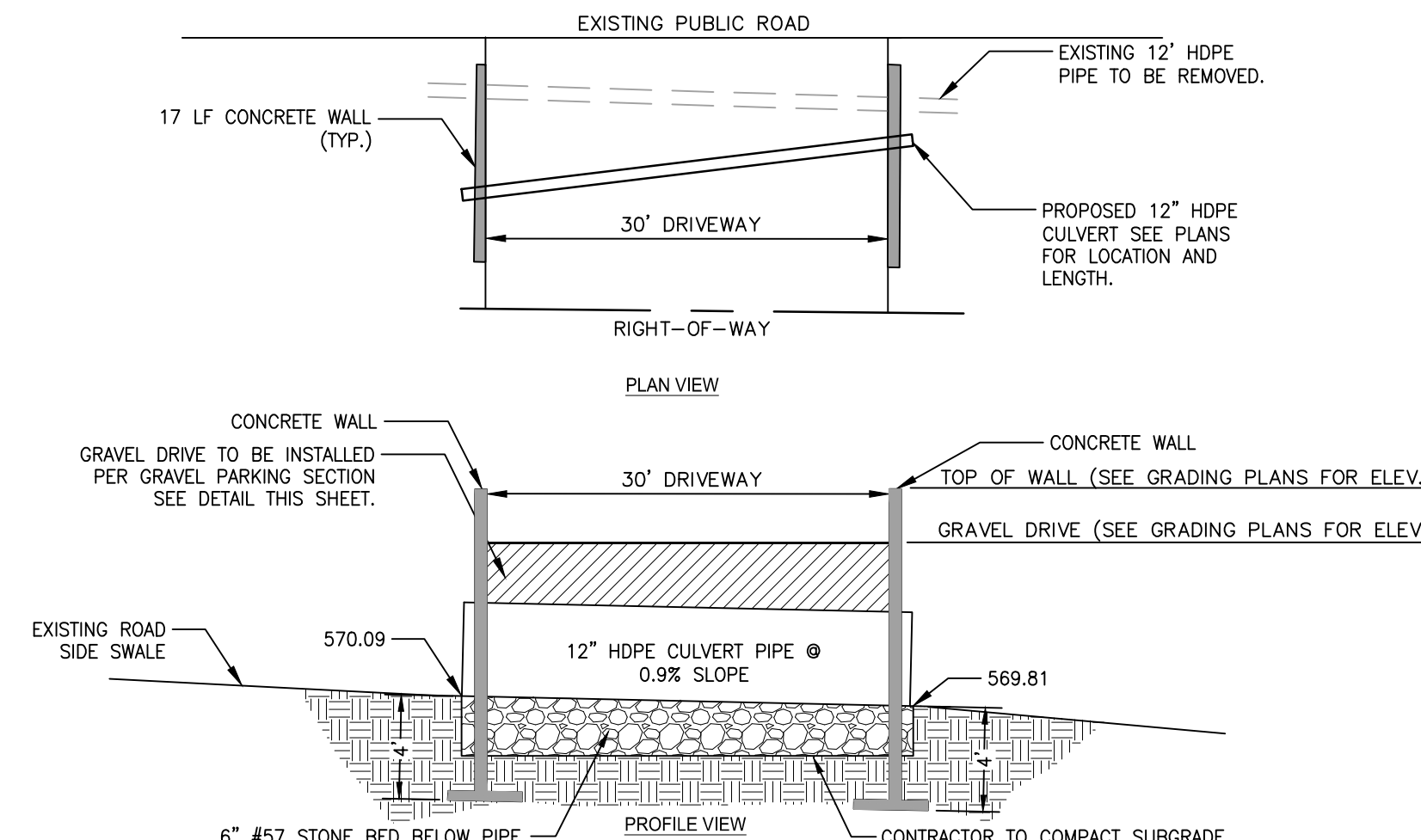
PLANTING INSTALLATION

- PLANT TREES AND SHRUBS ACCORDING TO SPECIFICATIONS AND ONLY FROM MID MARCH THROUGH THE END OF JUNE OR FROM MID SEPTEMBER THROUGH MID NOVEMBER, UNLESS OTHERWISE DIRECTED BY OWNER.
- INSTALL 2-3 INCHES SHREDDED HARDWOOD MULCH (MINIMUM AGE 6 MONTHS) OR COMPOST MULCH EVENLY PER LANDSCAPE PLANS. DO NOT APPLY MULCH IN AREAS WHERE GROUND COVER IS TO BE GRASS OR WHERE COVER WILL BE ESTABLISHED BY SEEDING.
- PROTECT RAIN GARDEN FROM SEDIMENT AT ALL TIMES DURING CONSTRUCTION. HAY BALES, DIVERSION BERMS AND/OR OTHER APPROPRIATE MEASURES SHALL BE USED AT THE TOE OF SLOPES THAT ARE ADJACENT TO SWALES TO PREVENT SEDIMENT FROM WASHING INTO THESE AREAS DURING SITE DEVELOPMENT.
- WHEN SITE IS FULLY VEGETATED AND THE SOIL MANTLE IS STABILIZED, THE CONTRACTOR'S ENGINEER SHALL BE NOTIFIED AND SHALL INSPECT THE DRAINAGE AREA AT HIS/HER DISCRETION BEFORE THE AREA IS BROUGHT ONLINE AND SEDIMENT CONTROL DEVICES ARE REMOVED.
- WATER VEGETATION AT THE END OF EACH DAY FOR TWO WEEKS AFTER PLANTING IS COMPLETED.

INSTALLATION AND MAINTENANCE OF RAIN GARDEN /BIORETENTION BED SHALL BE IN ACCORDANCE WITH PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S BEST MANAGEMENT PRACTICES MANUAL, LATEST EDITION.

**RAIN GARDEN / BIO-RETENTION ZONE**

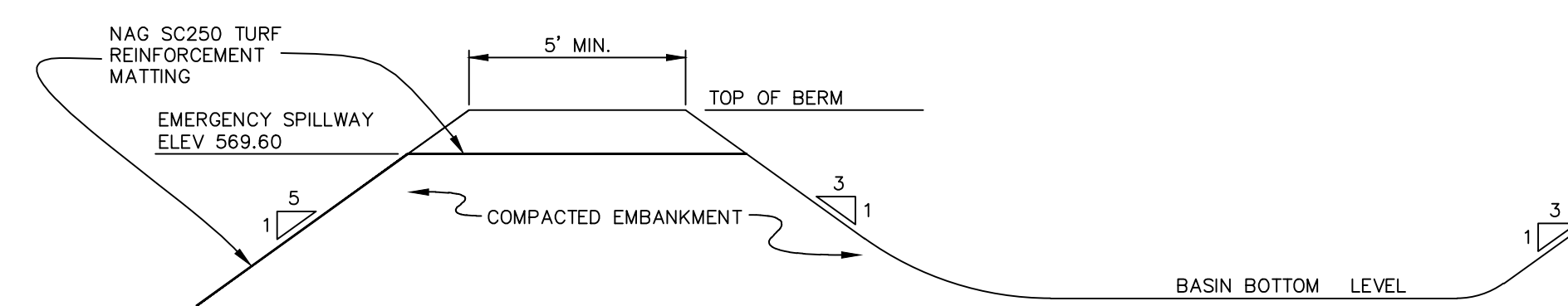
NOT TO SCALE



**ENTRANCE CULVERT DETAIL**

NOT TO SCALE

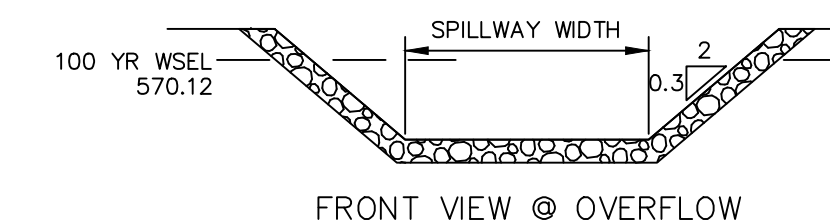
RAIN GARDEN BERM COMPACTION NOTE. FILL SHALL BE PLACED IN 6" LIFTS AND COMPACTED TO AN AVERAGE OF 95% OF MAXIMUM MODIFIED DRY DENSITY PER ASTM D-1557.



NOTES:  
 1. NAG REFERS TO NORTH AMERICAN GREEN PRODUCT OR APPROVED EQUAL.

**RAIN GARDEN EMBANKMENT AND SPILLWAY DETAILS**

NOT TO SCALE



BASIN NO.	Z1 (FT)	Z2 (FT)	EMBANKMENT		SPILLWAY ELEV	SPILLWAY WIDTH	BASIN BOTTOM ELEV (FT)
			TOP ELEV (FT)	TOP WIDTH (FT)			
1	0.15	0.15	570.30	5'	569.60	8'	569.00
FOREBAY	3	3	570.00	3'	569.30	10'	569.00

EMERGENCY SPILLWAY

THE LINES AND GRADES SHALL CONFORM TO THOSE SHOWN ON THE GRADING PLAN.

STABILIZATION: SEEDING AND MULCHING OF DISTURBED AREAS SHALL CONFORM TO THE RECOMMENDATIONS BELOW.

RAIN GARDEN

- MULCH: SMALL GRAIN STRAW @ 3 TONS PER ACRE.
- FERTILIZER: STARTER FERTILIZER 10-20-10 @ 1 TON PER ACRE.
- LIME: AGRICULTURAL - GRADE LESTONE, 85% MINIMUM OF CALCIUM CARBONATE @ 3 TONS PER ACRE.
- PLANTS: SHALL CONSIST OF TREES, SHRUBS AND LIVE PLANTS. SEE LANDSCAPE PLANS FOR DETAILS.



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Notes

Revision	By	Appd	YYYY.MM.DD
3. BOROUGH REVIEW COMMENTS	NY	BS	2023.10.10
2. ACCD REVIEW COMMENTS	AD	BS	2023.08.16
1. ACCD REVIEW COMMENTS	AD	BS	2023.08.11

File Name: 202711948C-161  
 NRY GCI BS 2023.07.20  
 Dwn. Dsgn. Chkd. YYYY.MM.DD

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Client/Project  
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115 SANDERS ROAD  
 PARKING LOT ADDITION  
 BOROUGH OF CARROLL VALLEY, ADAMS COUNTY, PA

Post Construction Stormwater Management Plan

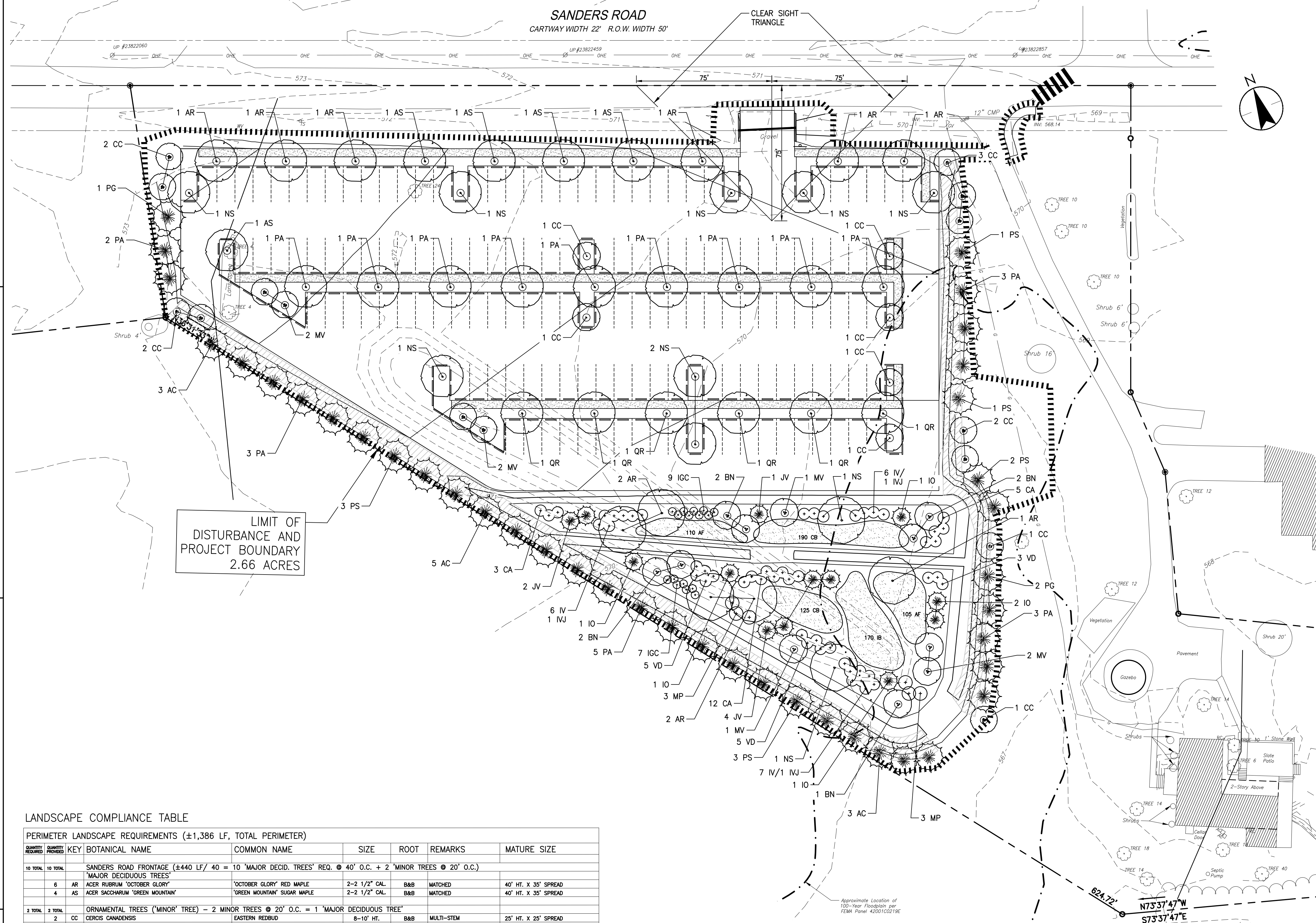
Project No. 202711948	Scale 1" = 30'
Revision 3	Sheet 11 of 13
Sheet 3	Drawing No. C-162

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Notes

EXISTING	PROPOSED
	GRAVEL
	LANDSCAPE ISLAND
	SETBACK LINE
	RIGHT OF WAY
	PROPERTY LINE
	IRON PIN
	MONUMENT
	SIGN
	TYPE 'M' INLET
	TYPE 'TW' ENDWALL
	UNDERGROUND POWER
	WATER LINE
	GAS LINE
	SANITARY SEWER
	STORM DRAIN
	UTILITY POLE
	GUYWIRE
	DECIDUOUS TREE
	100 YR FLOOD PLAIN LIMIT
	SOILS LIMITS
	LIMIT OF DISTURBANCE
	SILT SOCK
	EROSION CONTROL
	ROCK RETENTION ENTRANCE
	DECIDUOUS TREE
	ORNAMENTAL TREE
	EVERGREEN TREE
	PERENNIAL MASSING (24" ON-CENTER)



LANDSCAPE COMPLIANCE TABLE

PERIMETER LANDSCAPE REQUIREMENTS (±1,386 LF, TOTAL PERIMETER)								
QUANTITY REQUIRED	QUANTITY PROVIDED	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS	MATURE SIZE
10 TOTAL	10 TOTAL		SANDERS ROAD FRONTAGE (±440 LF/ 40' = 10 'MAJOR DECID. TREES' REQ. @ 40' O.C. + 2 'MINOR TREES @ 20' O.C.)					
6	6	AR	ACER RUBRUM 'OCTOBER GLORY'	'OCTOBER GLORY' RED MAPLE	2-2 1/2" CAL.	B&B	MATCHED	40' HT. X 35' SPREAD
4	4	AS	ACER SACCHARINUM 'GREEN MOUNTAIN'	'GREEN MOUNTAIN' SUGAR MAPLE	2-2 1/2" CAL.	B&B	MATCHED	40' HT. X 35' SPREAD
2 TOTAL	2 TOTAL		ORNAMENTAL TREES ('MINOR' TREE) - 2 MINOR TREES @ 20' O.C. = 1 'MAJOR DECIDUOUS TREE'					
2	2	CC	CERCIS CANADENSIS	EASTERN REDBUD	8-10' HT.	B&B	MULTI-STEM	25' HT. X 25' SPREAD
49 TOTAL	49 TOTAL		REMAINING PERIMETER (±976 LF/ 20' = 49 'MINOR TREES' REQ. AT 20' O.C.)					
9	9	CC	CERCIS CANADENSIS	EASTERN REDBUD	8-10' HT.	B&B	MULTI-STEM	25' HT. X 25' SPREAD
11	11	AC	ABIES CONCOLOR	WHITE FIR	7-8' HT.	B&B		40'-70' HT. X 22'-30' SPREAD
16	16	PA	PICEA ABIES	NORWAY SPRUCE	7-8' HT.	B&B		40'-80' HT. X 25'-30' SPREAD
3	3	PG	PICEA GLAUCA	WHITE SPRUCE	7-8' HT.	B&B		40'-70' HT. X 22'-30' SPREAD
10	10	PS	PINUS STROBUS	EASTERN WHITE PIN	7-8' HT.	B&B		50'-80' HT. X 20'-40' SPREAD

INTERIOR PARKING LOT LANDSCAPE REQUIREMENTS								
QUANTITY REQUIRED	QUANTITY PROVIDED	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS	MATURE SIZE
15 TOTAL	15 TOTAL		DIVIDER ISLAND (±565 LF/ 40' = 15 'MAJOR DECID. TREES' REQ. AT 40' O.C.)					
9	9	PA	PLATANUS x ACERIFOLIA	LONDON PLANETREE	2-2 1/2" CAL.	B&B	MATCHED	80'-90' HT. X 60'-70' SPREAD
6	6	QR	QUERCUS RUBRA	NORTHERN RED OAK	2-2 1/2" CAL.	B&B	MATCHED	50'-75' HT. X 50'-75' SPREAD

TERMINAL & MID-ROW PARKING ISLAND REQUIREMENTS (1 MAJOR TREE OR 2 MINOR TREES/ISLAND)								
QUANTITY REQUIRED	QUANTITY PROVIDED	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS	MATURE SIZE
1	1	AS	ACER SACCHARINUM 'GREEN MOUNTAIN'	'GREEN MOUNTAIN' SUGAR MAPLE	2-2 1/2" CAL.	B&B	MATCHED	40' HT. X 35' SPREAD
6	6	CC	CERCIS CANADENSIS	EASTERN REDBUD	8-10' HT.	B&B	TREE-FORM	25' HT. X 25' SPREAD
4	4	MV	MAGNOLIA VIRGINIANA 'HENRY HICKS'	SWEETBAY MAGNOLIA	8-10' HT.	B&B	HEAVY, MULTI-STEM	20'-30' HT. X 20'-30' SPREAD
8	8	NS	NYSSA SYLVATICA	BLACK GUM	2-2 1/2" CAL.	B&B		30'-50' HT. X 20'-30' SPREAD

BASIN LANDSCAPE							
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS	MATURE SIZE
DECIDUOUS TREES							
5	AR	ACER RUBRUM 'OCTOBER GLORY'	'OCTOBER GLORY' RED MAPLE	2-2 1/2" CAL.	B&B		40' HT. X 35' SPREAD
7	BN	BETULA NIGRA 'HERITAGE'	'HERITAGE' RIVER BIRCH	10'-12' HT.	B&B	3 TRUNK MIN. OF SIMILAR SIZE	40' HT. X 40' SPREAD
4	MV	MAGNOLIA VIRGINIANA 'HENRY HICKS'	SWEETBAY MAGNOLIA	8-10' HT.	B&B	HEAVY, MULTI-STEM	20'-30' HT. X 20'-30' SPREAD
2	NS	NYSSA SYLVATICA	BLACK GUM	2-2 1/2" CAL.	B&B		30'-50' HT. X 20'-30' SPREAD
EVERGREEN TREES							
6	IO	ILEX OPACA	AMERICAN HOLLY	7-8' HT.	B&B		40'-50' HT. X 18'-30' SPREAD
7	JV	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	7-8' HT.	B&B		30'-35' HT. X 12'-15' SPREAD
SHRUBS							
20	CA	CLETHRA ALNIFOLIA	SWEET PEPPERBUSH	18-24"	#3 CONT.	SPACE 5.0' O.C.	3'-8" HT. X 4'-6" SPREAD
16	ICG	ILEX GLABRA 'COMPACTA'	COMPACT HICKBERRY	18-24"	#3 CONT.	SPACE 3.5' O.C.	3'-4" HT. X 3'-4" SPREAD
19	IV	ILEX VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	18-24"	#3 CONT.	SPACE 3.0' O.C.	6-12" HT. X 8'-12" SPREAD
3	IV	ILEX VERTICILLATA 'JIM DANDY'	JIM DANDY WINTERBERRY	18-24"	#3 CONT.	SPACE 3.0' O.C.	3'-8" HT. X 4'-8" SPREAD
6	MP	MORELLA PENNSYLVANICA	DAYBERRY	24-36"	#5 CONT.	SPACE 6.0' O.C.	5'-10" HT. X 5'-10" SPREAD
13	VD	VIORURNUM DENTATUM	ARROWWOOD VIBURNUM	18-24"	#3 CONT.	SPACE 5.0' O.C.	6'-10" HT. X 6'-10" SPREAD
PERENNIALS AND GRASSES							
215	AF	AGORIS CALAMUS	SWEET FLAG	#5P4 CONT.	SPACE 24" O.C.		2'-2.5' HT. X 1.5-2' SPREAD
315	CB	CALAMAGROSTIS CANADENSIS	CANADA BLUE JOINT	#5P4 CONT.	SPACE 24" O.C.		2'-2' HT. X 3' SPREAD
170	IB	IRIS VERSICOLOR	BLUE FLAG IRIS	#5P4 CONT.	SPACE 24" O.C.		2'-2.5' HT. X 2-2.5' SPREAD

\* NOTE: THE ULTIMATE SIZE OF PLANT MATERIAL CAN VARY SUBSTANTIALLY DUE TO CONTEXT AND GROWING CONDITIONS. RESOURCES ALSO VARY GREATLY ON ULTIMATE HEIGHT AND WIDTH ESTIMATES. ESTIMATES ARE OFTEN LISTED FOR TREES GROWN IN THE WILD. ULTIMATE SIZE OF CULTIVATED TREES IS TYPICALLY LESS. ESTIMATES LISTED HERE ARE COMPILED FROM A VARIETY OF CATALOGUES AND ON-LINE SOURCES.

NO.	REVISION	DATE	BY	CHKD.
3	BOROUGH REVIEW COMMENTS	2023.10.10	NY	BS
2	ACCD REVIEW COMMENTS	2023.08.16	AD	BS
1	ACCD REVIEW COMMENTS	2023.08.11	AD	BS

Revision

File Name: 20211948C-191	NRY	GCI	BS	2023.07.20
Dwn.	Dsgn.	Chkd.	YYYY.MM.DD	

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Client/Project  
SKI LIBERTY OPERATING CORP.

115 SANDERS ROAD  
PARKING LOT ADDITION  
BOROUGH OF CARROLL VALLEY, ADAMS COUNTY, PA

Title  
LANDSCAPE PLAN

Project No. 20211948  
Revision Sheet 3 of 12 of 13

Scale 1" = 30'  
Drawing No. L-191





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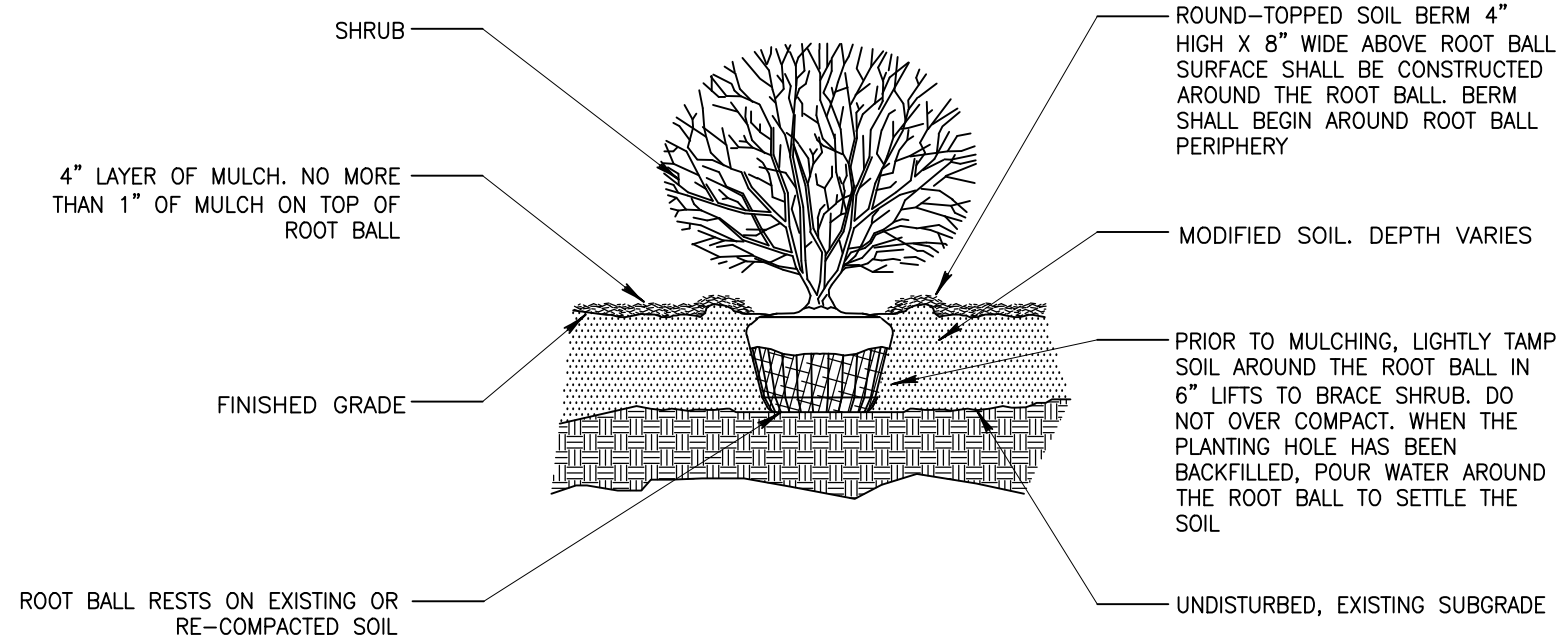
Notes

PLANTING NOTES AND SPECIFICATIONS

- THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS SHOWN, INCLUDING ALL LABOR, MATERIALS, EQUIPMENT, INCIDENTALS AND CLEANUP.
- ALL PLANTS SHALL BE NURSERY GROWN. PLANT QUALITY AND SIZE, ROOT SPREAD AND ROOT BALL OR CONTAINER SIZE SHALL BE IN ACCORDANCE WITH ANSI Z60.1, AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH. THEY SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF DISEASE AND INSECT PESTS, EGGS AND LARVAE. THEY SHALL HAVE HEALTHY AND WELL DEVELOPED ROOT SYSTEMS.
- DECIDUOUS TREES SHALL BE SELECTED FOR STRAIGHT TRUNKS, SYMMETRICAL AND FULL HEADS WITH NO OPEN AREAS AND WITH ONE STRAIGHT LEADER. TREES WITH A CROTCH OR FORKED TRUNK SHALL BE REJECTED. CONIFEROUS EVERGREEN TREES SHALL BE FULLY BRANCHED FROM THE GROUND TO UPPERMOST WHORL WITH NO LARGE OPEN AREAS BETWEEN WHORLS. SHRUBS SHALL HAVE FULL, DENSE AND SYMMETRICAL HEADS AND SHALL BE FOLIATED TO THE GROUND. LEGGY OR ONE-SIDED PLANTS SHALL BE REJECTED. GROUND COVER PLANTS SHALL BE THRIFTY, WELL BALANCED PLANTS, WELL-ESTABLISHED IN CONTAINERS.
- ALL PLANTS (B&B OR CONTAINER) SHALL BE PROPERLY IDENTIFIED BY WEATHERPROOF LABELS SECURELY ATTACHED THERETO BEFORE DELIVERY TO THE PROJECT SITE. LABELS SHALL IDENTIFY THE PLANTS BY NAME, SPECIES AND SIZE. LABELS SHALL NOT BE REMOVED UNTIL FINAL INSPECTION BY THE PROJECT CONSULTANT OR OWNER'S AGENT.
- SUBSTITUTIONS: DUE TO POSSIBLE LIMITED PLANT AVAILABILITY, PLANT MATERIAL OF SIMILAR CHARACTER MAY BE SUBSTITUTED, UPON REQUEST BY THE CONTRACTOR, IF APPROVED BY THE OWNER AND TOWNSHIP LANDSCAPE ARCHITECT.
- BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF EARTH, OF DIAMETER AND DEPTH TO INCLUDE MOST OF THE FIBROUS ROOTS. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT TIME OF PLANTING.
- CONTAINER GROWN STOCK SHALL HAVE BEEN GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER FIRM AND WHOLE. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. AFTER REMOVAL FROM THE CONTAINER, THE ROOT BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
- ROOT BALLS OF ALL PLANTS SHALL BE ADEQUATELY PROTECTED AT ALL TIMES FROM SUN AND DRYING WINDS OR FROST. PLANTS WITH BROKEN ROOT BALLS OR EXCESSIVE DAMAGE TO THE CROWN SHALL BE REJECTED.
- INSO FAR AS IT IS PRACTICABLE, PLANT MATERIALS SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT THE STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A 3 DAY PERIOD AFTER DELIVERY.
- PLANTING SOIL FOR BACKFILLING PLANTED AREAS SHALL CONSIST OF 2 PARTS BY VOLUME OF LOAMY TOPSOIL THOROUGHLY MIXED WITH ONE PART PEAT MOSS. NOTHING BUT SUITABLE TOPSOIL, FREE OF DRY SOD, STIFF CLAY, DEBRIS, OR OTHER UNSUITABLE MATERIALS, SHALL BE USED FOR PLANTING.
- ALL PLANTING SHALL BE INSTALLED AT THE LOCATIONS INDICATED ON THE DRAWINGS. MINOR ADJUSTMENTS TO PLANTING LOCATIONS MAY BE NECESSARY DUE TO FIELD CONDITIONS AND FINAL GRADING. THE CONTRACTOR SHALL ENSURE THAT LANDSCAPE INSTALLATION DOES NOT INTERRUPT ESTABLISHED OR PROJECTED DRAINAGE PATTERNS. THE CONTRACTOR SHALL NOTIFY THE OWNER IF MAJOR ADJUSTMENTS ARE REQUIRED.
- ALL PLANTS SHALL BE PLUMB AND STRAIGHT AND INSTALLED AT SUCH A LEVEL THAT, AFTER SETTLEMENT, THE INDICATED RELATIONSHIP BETWEEN THE CROWN OF THE ROOT BALL AND THE GROUND SURFACE WILL BE ESTABLISHED. (SEE PLANTING DETAILS). ALL PLANTS SHALL BE LOCATED IN THE CENTER OF THEIR RESPECTIVE PLANTING PITS.
- TREES IN LEAF WHEN PLANTED SHALL BE TREATED WITH ANTI-DESICCANT SUCH AS "WLT-PROOF".
- MULCH: IMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETED ALL TREE AND SHRUB PLANTING PITS SHALL BE COVERED WITH A 3" (THREE INCH) LAYER OF LICORICE ROOT MULCH OR OTHER MATERIAL APPROVED BY THE OWNER. THE LIMIT OF THIS MULCH FOR DECIDUOUS TREES AND SINGLE EVERGREEN TREES SHALL BE THE AREA OF THE PIT. FOR SHRUB BEDS AND EVERGREEN TREE CLUSTERS, A CONTINUOUS MULCHED BED SHALL BE CREATED.
- ALL PLANTING BEDS ADJACENT TO LAWN, SOO OR SEEDED AREAS SHALL BE SPADE EGGED.
- ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE PRIOR TO FINAL LANDSCAPE INSPECTION. GROUND COVER AREAS SHALL BE WEDED PRIOR TO APPLICATION OF PRE-EMERGENT. APPLY PRE-EMERGENT AS PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- EACH TREE AND SHRUB SHALL BE PRUNED, AFTER INSTALLATION, IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL DEAD WOOD OR SUCKERS AND ALL BROKEN OR BADLY BRUISED BRANCHES SHALL BE REMOVED. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
- THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND THE OWNER'S AGENT IN WRITING OF ALL SOIL OR DRAINAGE CONDITIONS WHICH THE CONTRACTOR CONSIDERS DETRIMENTAL TO THE GROWTH OF PLANTS. IF SUCH CONDITIONS ARE ENCOUNTERED DURING PLANTING, STATE THE CONDITIONS AND SUBMIT A PROPOSAL FOR CORRECTING THE CONDITIONS, INCLUDING ANY CHANGE IN COST, FOR REVIEW AND ACCEPTANCE BY THE OWNER.
- IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES LISTED IN THE PLANT LIST AND THOSE QUANTITIES SHOWN ON THE PLANS, THOSE SHOWN ON THE PLANS SHALL GOVERN.
- NEW PLANTING AREAS AND NEW TURF AREAS SHALL BE ADEQUATELY IRRIGATED OR WATERED BY THE CONTRACTOR AS REQUIRED TO ESTABLISH THE NEW PLANTS AND LAWN, UNTIL OWNER'S ACCEPTANCE.
- ANY MATERIAL/WORK MAY BE REJECTED IF IT DOES NOT MEET THE REQUIREMENTS OF THE SPECIFICATIONS. ALL REJECTED MATERIAL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
- UPON COMPLETION OF ALL LANDSCAPING, A PROJECT MEETING FOR ACCEPTANCE OF THE WORK SHALL BE HELD. THE CONTRACTOR SHALL NOTIFY THE OWNER TO SCHEDULE THE INSPECTION AT LEAST SEVEN (7) DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE.
- NEW LANDSCAPE PLANTINGS SHALL BE MAINTAINED IN A HEALTHY AND/OR SOUND CONDITION, OR OTHERWISE BE REPLACED BY EQUIVALENT IMPROVEMENTS FOR A PERIOD OF AT LEAST EIGHTEEN (18) MONTHS FOLLOWING THEIR INSTALLATION AND ACCEPTANCE BY THE TOWNSHIP.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MONITOR THE PROJECT DURING THE GUARANTEE PERIOD AND NOTIFY THE OWNER IF PROBLEMS DEVELOP WITH THE PLANT MATERIAL. ANY MATERIAL THAT IS 25% DEAD OR MORE SHALL BE CONSIDERED DEAD AND MUST BE REPLACED AT NO CHARGE. A TREE SHALL BE CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK, OR THERE IS 25% OF THE CROWN DEAD. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. REPLACEMENT PLANTS SHALL BE GUARANTEED FOR A PERIOD OF 90 DAYS AFTER THEIR INSTALLATION.
- THIS PLAN SHALL BE USED FOR LANDSCAPE PURPOSES ONLY. THE CONTRACTOR SHALL REVIEW RELATED ARCHITECTURAL/ENGINEERING PLANS TO BECOME THOROUGHLY FAMILIAR WITH GRADING AND UTILITIES.
- ALL LANDSCAPE IMPROVEMENTS SHALL BE INSTALLED AND BE MAINTAINED BY ACCEPTED PRACTICES AS RECOGNIZED BY THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS AND/OR AMERICAN NURSERY AND LANDSCAPE ASSOCIATION STANDARDS.

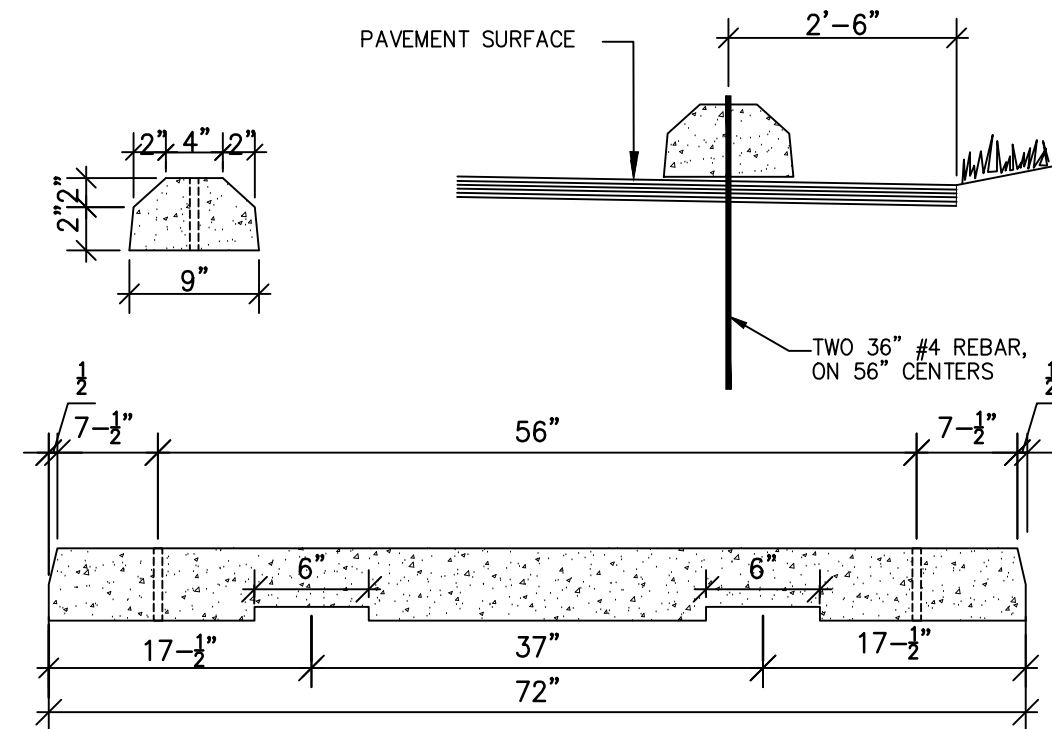
SHRUB PLANTING NOTES:

- ROOT BALLS GREATER THAN 2" DIA. SHALL SIT ON A MOUND OF UNDISTURBED SOIL TO PREVENT SETTLEMENT.
- ROOT BALLS SMALLER THAN 2" DIA. SHALL SIT ON COMPACTED PLANTING SOIL.
- TOP OF ROOT BALL SHALL BE 1" TO 2" ABOVE FINISH GRADE.
- PLANTING HOLE FOR ROOT BALL SIZES 2" DIA. AND LARGER SHALL BE 2" LARGER ON ALL SIDES THAN DIAMETER OF ROOT BALL.
- PLANTING HOLE FOR ROOT BALL SIZES LESS THAN 2" DIA. SHALL BE TWICE THE DIAMETER OF THE ROOT BALL.



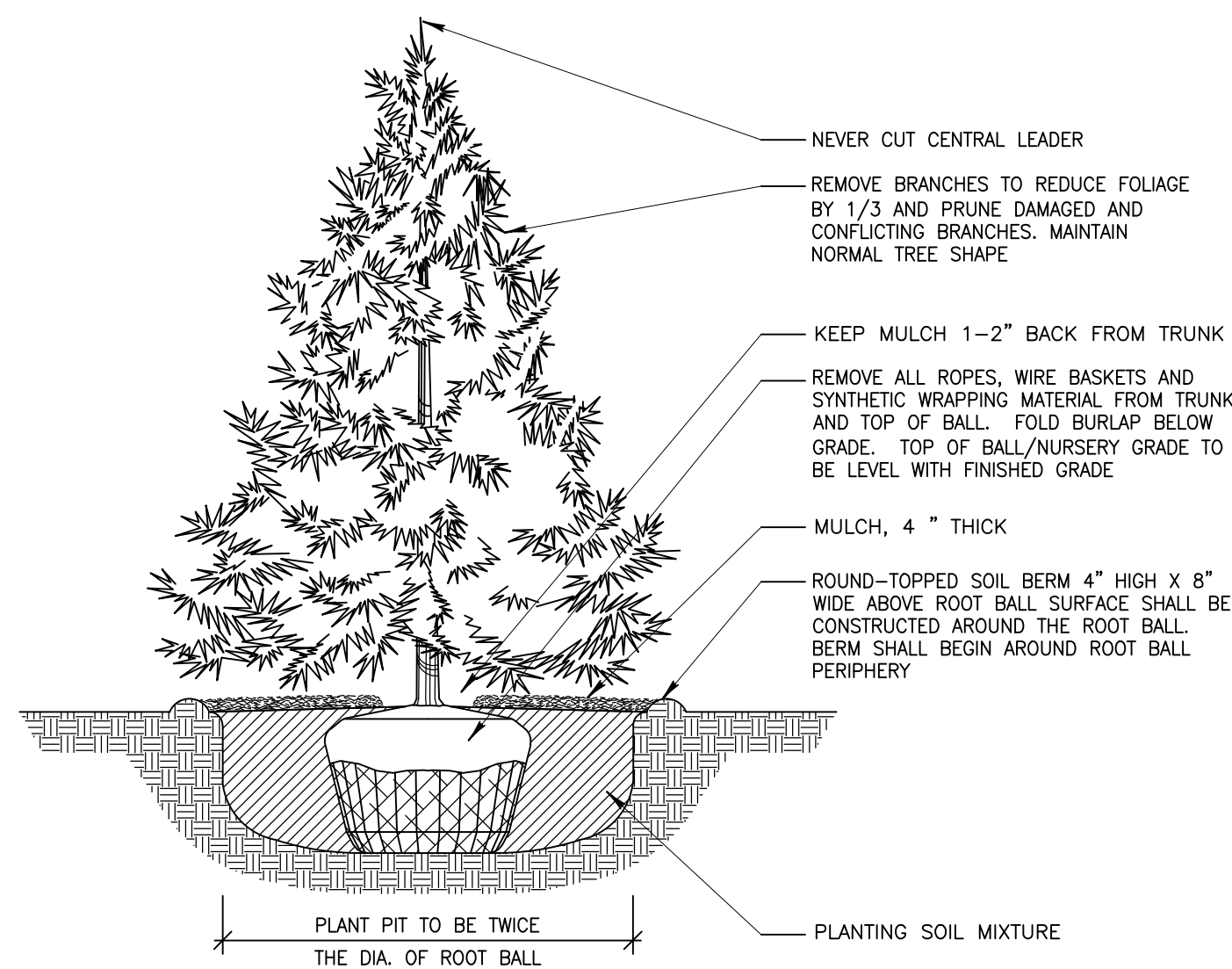
SHRUB

NOT TO SCALE



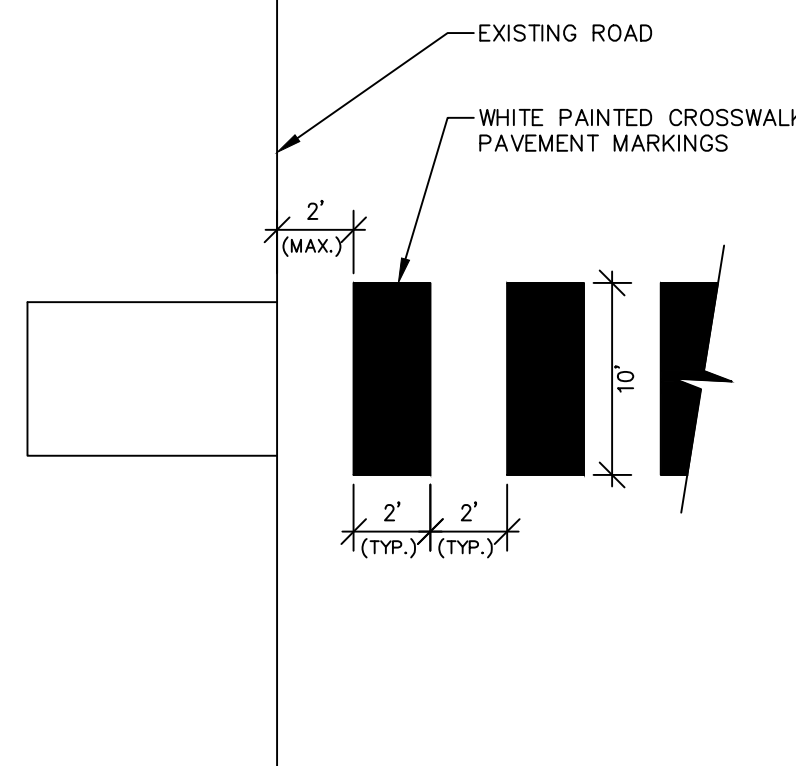
6' PRECAST CONCRETE WHEEL STOP

NOT TO SCALE



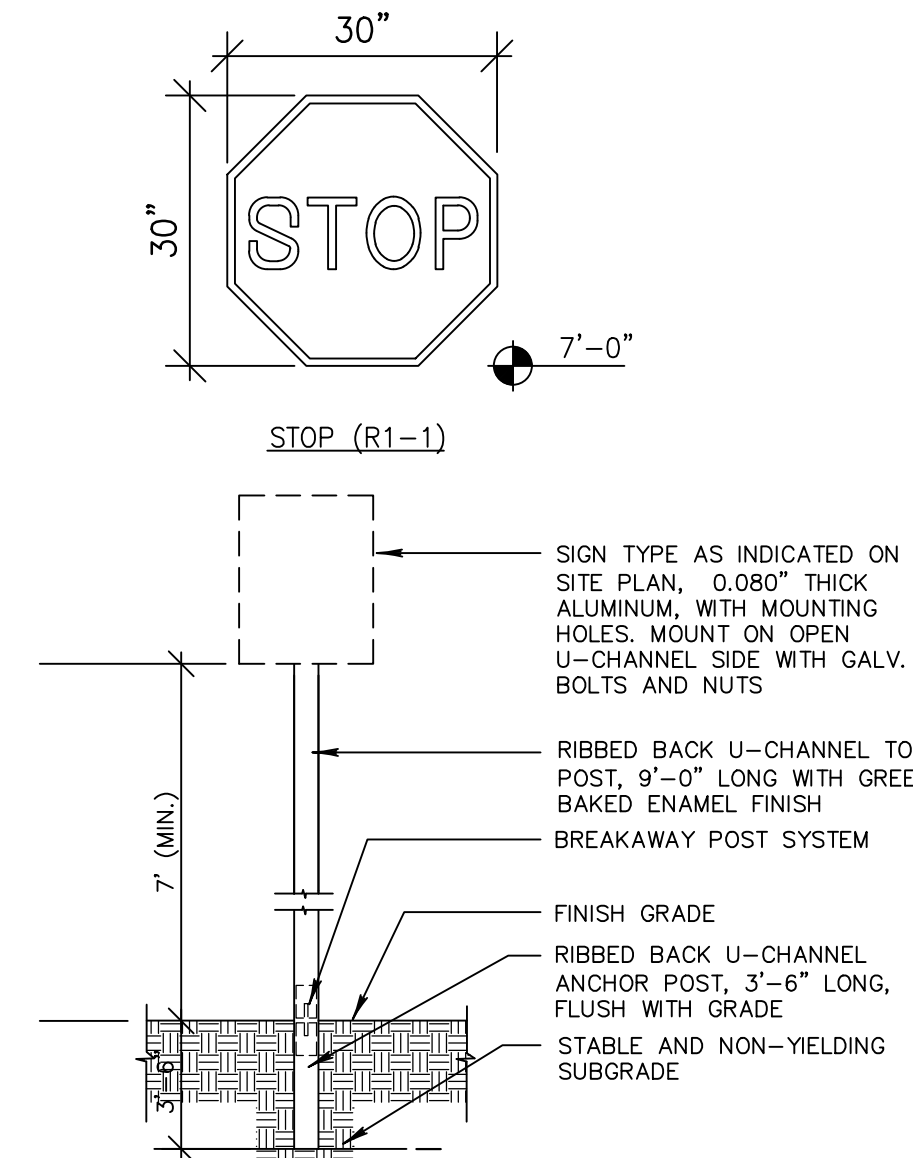
EVERGREEN TREE

NOT TO SCALE



PAINTED CROSSWALK

NOT TO SCALE

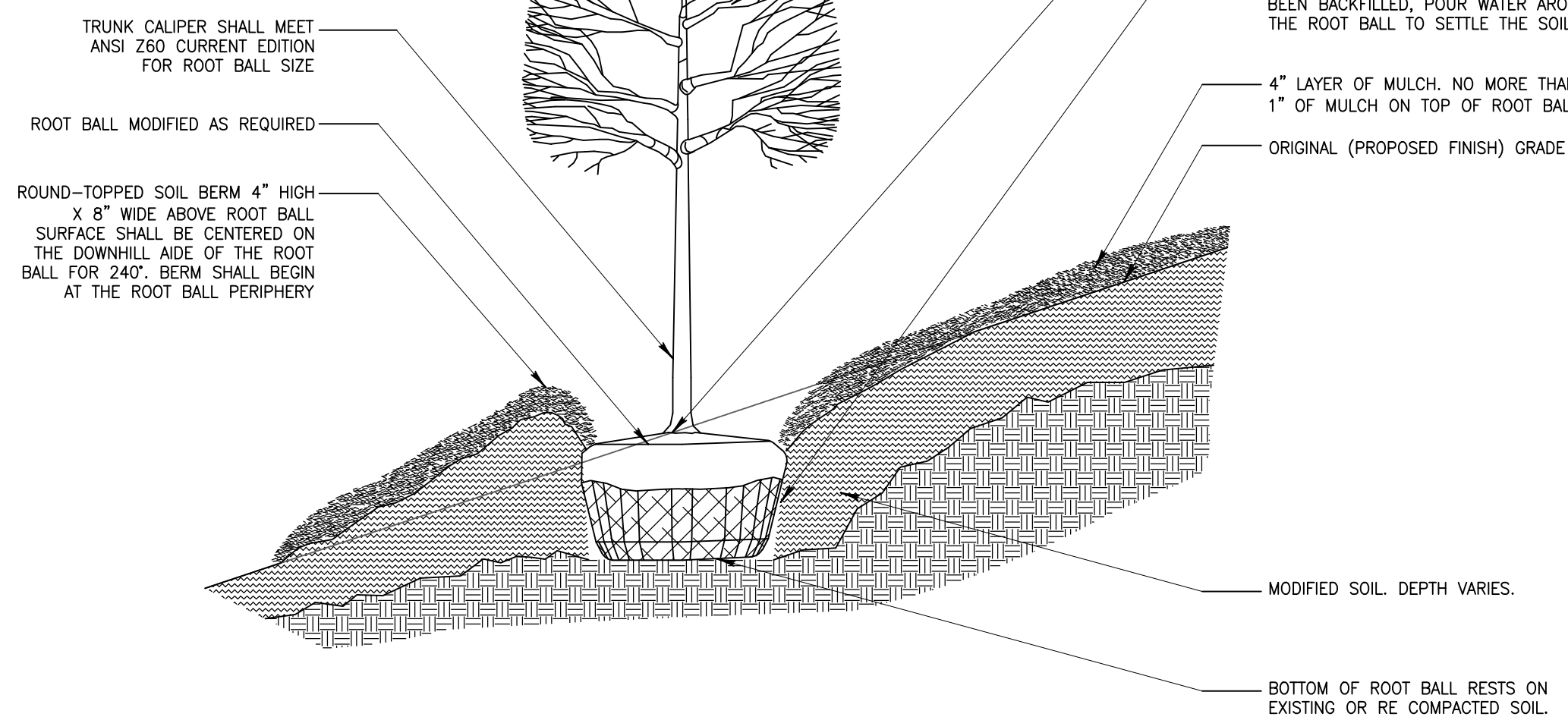


TRAFFIC SIGNS DETAILS

NOT TO SCALE

NOTES:

- TREES SHALL BE OF QUALITY PRESCRIBED IN CROWN OBSERVATIONS AND ROOT OBSERVATION DETAILS AND SPECIFICATIONS.
- SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS FOR THIS DETAIL.

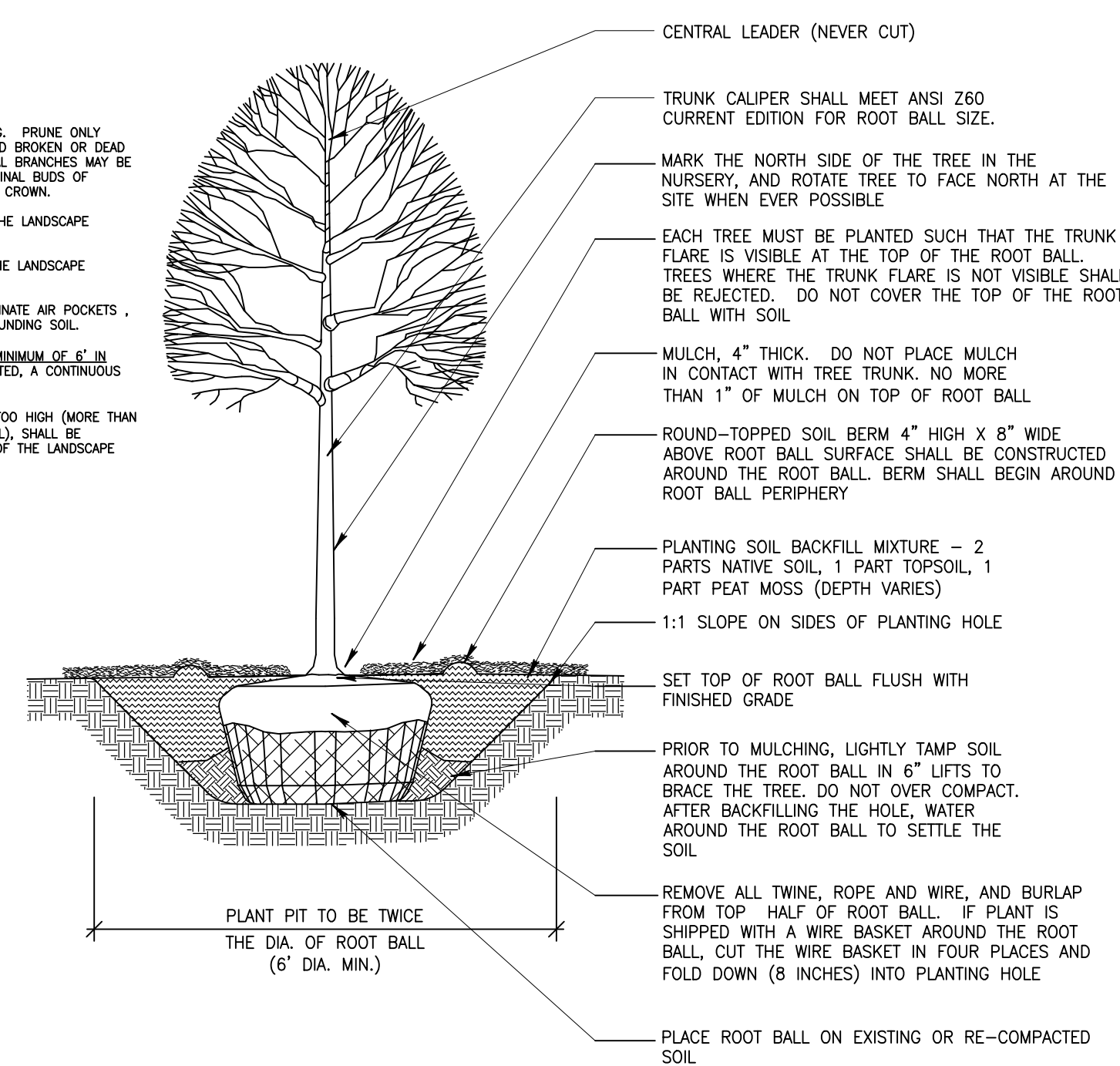


DECIDUOUS TREE ON SLOPE

NOT TO SCALE

TREE PLANTING NOTES:

- DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- WRAP TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- WATER THOROUGHLY DURING PLANTING TO ELIMINATE AIR POCKETS, SETTLING, AND TO SOAK THE BALL AND SURROUNDING SOIL.
- MULCH RING FOR INDIVIDUAL TREES TO BE A MINIMUM OF 6" IN DIAMETER. WHERE TREE CLUSTERS ARE INDICATED, A CONTINUOUS MULCHED BED SHALL BE CREATED.
- TREES THAT ARE OVERMULCHED, OR PLANTED TOO HIGH (MORE THAN 6 INCHES ABOVE THE SURROUNDING SOIL LEVEL), SHALL BE REJECTED AND REPLACED AT THE DISCRETION OF THE LANDSCAPE ARCHITECT.

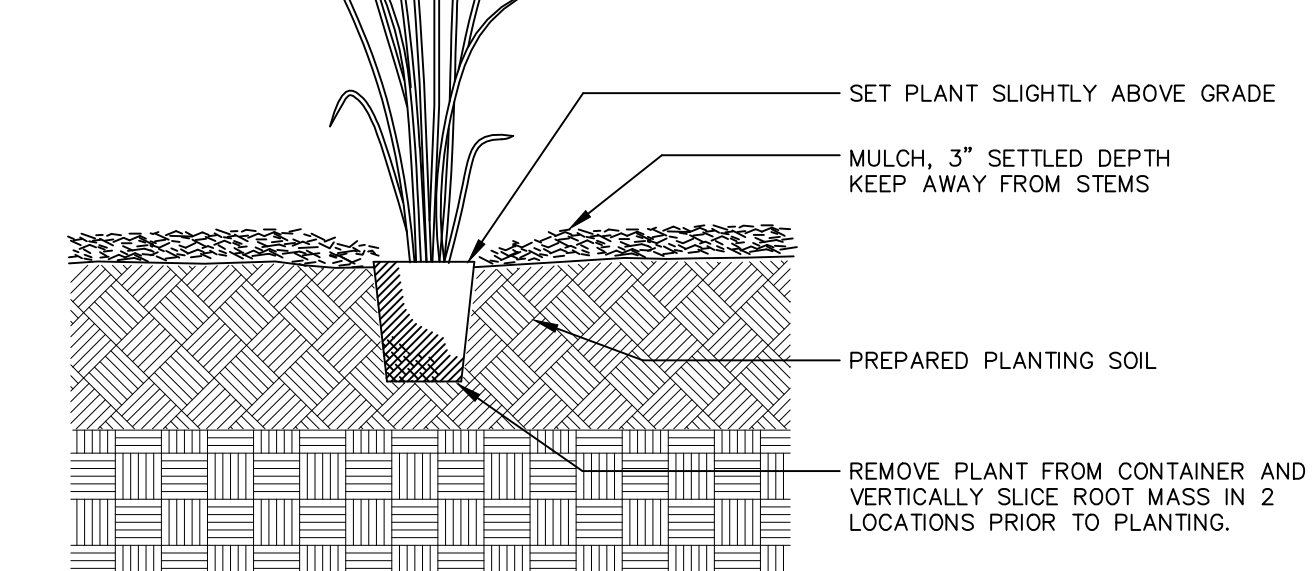


DECIDUOUS TREE

NOT TO SCALE

ORNAMENTAL GRASS / PERENNIAL PLANTING NOTES:

- SEE PLANT LIST FOR SPACING DISTANCES OF VARIOUS ORNAMENTAL GRASS SPECIES.
- FOR ALL PLANTING BEDS INDICATED FOR ORNAMENTAL GRASSES, BREAK UP OR DISC EXISTING SOIL TO A DEPTH OF 6 INCHES. ALLOW TILLED SOIL TO DRY, THEN APPLY A 2" THICK LAYER OF ORGANIC COMPOST MATERIAL AND THOROUGHLY TILL COMPOST INTO SOIL AS REQUIRED TO PRODUCE A UNIFORM TEXTURE. SMOOTH AND FIRM THE MODIFIED SOIL PRIOR TO PLANTING.



ORNAMENTAL GRASS / PERENNIAL PLANTING

NOT TO SCALE

NO.	REVISION	DATE	BY	APP'D.
3.	BOROUGH REVIEW COMMENTS	NY	BS	2023.10.10
2.	ACCD REVIEW COMMENTS	AD	BS	2023.08.16
1.	ACCD REVIEW COMMENTS	AD	BS	2023.08.11

Revision By Appd YYYT.MMM.DD

File Name: 202711948C-191 NRY GCI BS 2023.07.20 Dwn. Dsgn. Chkd. YYYT.MMM.DD

Permit/Seal

**PRELIMINARY NOT FOR CONSTRUCTION**

Not for permits, pricing or other official purposes. This document has not been completed or checked and is for general information or comment only.

Client/Project  
SKI LIBERTY OPERATING CORP.

115 SANDERS ROAD  
PARKING LOT ADDITION  
BOROUGH OF CARROLL VALLEY, ADAMS COUNTY, PA

Title  
CONSTRUCTION DETAILS AND NOTES

Project No. 202711948	Scale 1" = 30'
Revision Sheet 3 13 of 13	Drawing No. L-192





Stantec Consulting Services Inc.  
5000 Ritter Road, Suite 102  
Mechanicsburg PA 17055-6922

October 10, 2023

Project/File: 202711948

**Dave Hazlett**

Borough of Carroll Valley  
5685 Fairfield Road  
Fairfield, PA 17320

Dear Dave,

**Reference: Prelim/Final Sub. & LD Plan - 115 Sanders Rd. Parking Lot Addition**

On behalf of the Applicant, Ski Liberty Operating Corp., we offer the following responses to plan review comments issued by KPI Technology in a letter dated September 1, 2023, regarding the above referenced project. Review comments are typed below in *italics* followed by Stantec responses in **bold text**:

Zoning Ordinance Comments:

1. *The Zoning Officer should determine if a Special Exception will be required for the addition of a parking lot for use by an existing resort. (801.C.5)*

**No changes in existing use or expansion of existing use are proposed. In addition, an official Sketch Plan was submitted to the Borough on March 30, 2023, and an email response was received from Dave Hazlett on April 20, 2023, identifying the applicable process being the “Preliminary/Final Subdivision and Land Development Plan” submission. A Special Exception was not identified as being required.**

2. *It should be clearly defined/noted how pedestrians will be transported to the resort area. If shuttles are being provided, shuttle stop areas should be depicted. If users of the adjacent parking lot are historically known to walk up Sanders Road to the resort, then a sidewalk along Sanders Road should be considered. (1600.C)*

**A designated pedestrian walkway from the proposed parking lot to a proposed crosswalk has been added. The proposed cross walk aligns with the existing drive on the other side of Sanders Road which provides direct access to the existing pedestrian walkway on the north side of Sanders Road. Pedestrians will take this walkway to get to the resort.**

3. *A tabulation of resort-wide required and proposed parking spaces should be provided. (1601)*

**A table has been added to the coversheet showing the existing and proposed number of parking spaces.**

4. *The Zoning Officer should determine if the proposed parking lot, in conjunction with other resort parking lots, contains more than 400 spaces and if it would therefore be subject to surfacing requirements of section 1602. B.2.*

Reference: Prelim/Final Sub. & LD Plan - 115 Sanders Rd. Parking Lot Addition

**A table has been added to the coversheet showing the existing and proposed number of parking spaces along with the percentage paved.**

5. *Terminal islands shall be provided at both ends of all parking space rows and one mid-row island shall be provided for every 20 contiguous parking spaces. (1602.C.3.a&b)*

**Terminal islands and mid-row islands have been added to the plan.**

6. *Curbing or bumper blocks shall be provided around all terminal islands, mid-row islands and divider strips to prevent vehicular encroachment. (1602.C.3.d) Bumper blocks are also required to delineate parking spaces on non-paved parking lots. (1602.E.2)*

**Bumper blocks have been added around all terminal islands, mid-row islands and divider strips at parking spaces.**

7. *Within the parking lot, pedestrian walkways or sidewalks shall be provided. (1602.C.3.e)*

**Designated pedestrian walkways have been added to the plan.**

8. *The parking lot illumination standards shall be met. A photometrics plan is required. (1602.G)*

**Parking lot illumination is not required or proposed as part of this plan and therefore illumination standards are not applicable. This has been confirmed with the Borough Manager.**

9. *It will not be clear if the parking lot landscaping requirements are met until the above comments are resolved. Additional comments may apply. (1602.H)*

**Acknowledged**

10. *The Zoning Officer should determine if / how many ADA accessible spaces are required in the proposed parking lot. (1605)*

**A table has been added to the coversheet showing the required and proposed number of ADA parking spaces.**

11. *The plans should note that any proposed signage shall meet the requirements of the Zoning Ordinance. (1707)*

**Note 2 has been added to the Site Plan (C-121).**

Subdivision and Land Development Comments:

12. *Adams County Planning comments should be considered. (301)*

**Adams County Planning comments have been considered in preparation of the revised documents.**



Reference: Prelim/Final Sub. & LD Plan - 115 Sanders Rd. Parking Lot Addition

13. *A Deed of Consolidation needs to be approved and recorded. (352.1.B)*

**A Deed of Consolidation will be provided prior to recording.**

14. *The engineer's seal and signature should be executed on the approved plans. (403.F)*

**Engineer's signature and seal will be provided prior to recording.**

15. *The approved plans shall be acknowledged/executed by the owners. (406.M)*

**The approved plans will be acknowledged/executed by the owners prior to recording.**

16. *A certificate of approval needs to be added for the Borough Planning Commission. (406.N)*

**Borough Planning Commission certification block has been added to the coversheet.**

17. *With regard to the proposed entrance, we note the following:*

a. *Sight distances and a clear sight triangle should be provided for the proposed entrance. (406.L, 529)*

**Sight distance lines have been added to site plan sheet C-121. Clear sight triangle has been added to landscape plan sheet L-191.**

b. *An existing 12-inch culvert pipe is shown under the proposed parking lot entrance. It should be confirmed that the size/condition/type of pipe meets the Borough standards and that adequate cover is/will be present. (21.207.5.D)*

**See attached waiver request regarding minimum pipe size. Also, additional details have been added to the plan and section 4.5 "Culvert Analysis" has been added to the PCSM Report.**

c. *All geometries (radii, width) at the proposed entrance should be clearly depicted and labeled. We note the entrance width does not appear to be consistent. (406).*

**Additional details and dimensions have been added to the plan to clearly define the proposed driveway entrance.**

d. *It should be clarified on the plans what portion of the proposed entrance will be paved. The driveway ordinance requires pavement or concrete to the right-of-way line at a minimum. (21.207.6.B)*

**The proposed design calls for a compacted gravel surface which is an impermeable surface. In addition, based on the degree of slope, location, and similar topographic factors, the proposed driveway would NOT create an erosion or runoff problem. Therefore, we are respectfully requesting concurrence that the proposed plan is compliant with § 21.207.6.B of the Streets and Sidewalks Ordinance.**

Reference: Prelim/Final Sub. & LD Plan - 115 Sanders Rd. Parking Lot Addition

- e. *A stop sign should be provided for patrons exiting the parking lot. Additional interior and pedestrian signage should be provided as needed.*

**A stop sign has been added for vehicles exiting the proposed parking lot.**

18. *Any improvements proposed in the Sanders Road right-of-way will require a Borough permit. The proposed mid-block crosswalk will need to be approved through the Borough and meet the requirements of the Zoning Ordinance 802.C and SALDO 543.*

**The proposed crosswalk will be submitted and reviewed as part of this Preliminary/Final Subdivision and Land Development plan submission.**

19. *An approved E&S Plan/NPDES Permit are required.*

**E&S Plan/NPDES Permit application have been approved by the Adams County Conservation District. NPDES #PAC010242.**

20. *Bonding of related improvements is required. A cost estimate should be submitted for review. (338)*

**An Engineer's Estimate of Probable Construction Cost will be provided upon conditional approval and prior to recording.**

Stormwater Management Comments:

21. *On sheet C-142, it appears that steps #17-26 of the "General Construction Sequence" are out of place. Please revise for consistency with this project and appropriate order of construction.*

**The general construction sequence on sheet C-142 has been updated to more appropriately reflect the order of construction.**

22. *There appears to be multiple construction sequences for the construction of the raingarden. "Critical Stage of Construction - Rain Garden Infiltration BMP" on sheet C-142 and C-162, as well as a construction sequence under the "Rain Garden / Bioretention Zone" Detail on sheet C-162. There should be one sequence to follow for construction of the raingarden with the critical stages outlined. Additionally, the sequence should be site specific, as it appears that the "Critical Stage of Construction - Rain Garden Infiltration BMP" mentions an infiltration bed and geotextile.*

**The duplicate copy of the "critical stages of construction" notes have been removed from C-162. Also, the construction sequence under the "Rain Garden / Bioretention Zone" detail on sheet C-162 has been revised to be specific to Planting Installation. In addition, the "critical stages of construction" on sheet C-142 have been updated to be site specific.**

23. *Please revise the clarity of the forebay and raingarden grading. The proposed contours extend past the existing contours they should be tying into. Additionally, there are proposed contours that overlap each other and an extra proposed contour line that is prohibiting the clarity of the grades. A few examples include:*

Reference: Prelim/Final Sub. & LD Plan - 115 Sanders Rd. Parking Lot Addition

- a. *The 571 contour on the northwest side of the forebay extends past the existing 571 contour.*
- b. *There are overlapping lines/grades in the northwest corner of the forebay.*
- c. *There appears to be an extra line connecting the one side of the berm at the emergency spillway to the other (570 contour).*

**The plans have been revised to improve the clarity of the forebay and raingarden grading.**

24. *In the "Test Pits" table on sheet C-161 it appears that the existing grade column for DR- 2A, 28, and 2C should be 569.4 instead of 596.4. Please revise accordingly.*

**The plans have been revised accordingly.**

25. *On sheet C-162, the 100-year surface elevation given in the "Raingarden I Bioretention Zone" detail (elev. 570.11) varies from the "Raingarden Embankment and Spillway Details" (elev. 570.08).*

**The 100-year water surface elevation has been updated on both details accordingly. Based on the model updates associated with this comment letter, specifically the updates to CN values, the final 100-year water surface elevation is 570.12.**

26. *No plantings should be proposed on the side slopes or tops of embankments to avoid compromising the structural stability of the BMPs.*

**Sheet C-191 has been revised to move plantings off side slopes and tops of embankments.**

27. *On sheet C-181 and C-182, please depict a discharge flow path for DP002 as it leaves the property.*

**Pre and Post development drainage area maps (sheets C-181 and C-182) have been revised to show the discharge path for DP002 as it leaves the property.**

28. *Please provide the Limit of Disturbance on both the Existing and Proposed Drainage Area Maps (C-181 and C-182).*

**The Limit of Disturbance has been added to the Pre and Post Development Drainage Area Maps, sheets C-181 & C-182.**

29. *The minimum top width of the raingarden and forebay embankment is 8 feet (23-406 J.b.). We also note that the details of the raingarden on sheet C-162 are inconsistent with the grading plans on the widths of the embankment. Please revise accordingly.*

**See attached waiver request. Also, the grading of the rain garden berm has been adjusted to be 5 foot minimum.**

30. *A cutoff trench is required for all basin embankments (23-406-J.f.). The location of the cutoff trench and its extents should be depicted on the plans with corresponding details.*

**See attached waiver request.**



Reference: Prelim/Final Sub. & LD Plan - 115 Sanders Rd. Parking Lot Addition

31. *An owner statement and notes on the plans indicating that the stormwater management facilities are permanent and require operation and maintenance responsibilities must be provided for signature (23-501-B.2.v. & x.).*

**Owner statement and notes have been added to PCSM sheet C-161.**

32. *Pertaining to the Volume Tab of the DEP PCSWM Spreadsheet:*

- a. *According to the structural BMP Volume Credit for BMP No. 1, credit is being accounted for as an MRC design; however, the raingarden is not designed based on MRC standards. Please revise accordingly.*

**The Volume Tab of the DEP PCSWM Spreadsheet has been revised to uncheck the MRC credit section.**

- b. *Please provide calculations on the credit being taken for the "Storage Volume (CF)" of BMP No. 1.*

**Section 4.3.1 of the PCSM Report has been revised to add additional discussion regarding the Storage Volume provided by BMP No. 1 and referencing Page 32 in Appendix D.2 demonstrating compliance with Runoff Volume requirements.**

33. *It appears that only 0.19 feet of freeboard is available at 100-year water surface elevation on the raingarden embankment. The height of the embankment must be set as to provide a minimum of one foot of freeboard above the maximum water surface elevation in the facility during all storms. Please revise accordingly (23-406-C.).*

**See attached waiver request. In addition, we believe the correct ordinance section should be 23-406.B and we have referenced this section in the waiver request.**

34. *The curve numbers (CNs) and calculations utilized on the DEP PCSWM Spreadsheet and in HydroCAD do not seem to account for the area of Pen law (Pa) soil that is located in the drainage areas. Please revise the calculations to take credit for the areas located in this soil type as "D" rated soil with the corresponding curve numbers (23-408-E.).*

**Due to the minimal amount of Pen law (Pa) soils within the drainage area of the proposed improvements, the existing site soils were modeled as type 'C' soils. This design approach is conservative and results in lower predevelopment peak runoff rates which establishes lower post development peak runoff rate limits.**

35. *Please ensure that all of the appropriate curve numbers are being utilized in the HydroCAD and Volume Spreadsheet calculations. All impervious surfaces (including gravel) should be a CN of 98, all open space 'C' soil should be a CN of 74, and open space 'D' soil should be a CN of 80 (23-408-E.).*

**The values have been updated as requested to modify all gravel and impervious areas to a CN of 98. The open space areas have been updated to a CN of 74. As previously mentioned per comment response 33, the type D soils were not incorporated in the overall calculations**

Reference: Prelim/Final Sub. & LD Plan - 115 Sanders Rd. Parking Lot Addition

and in much of the proposed development that soil area will be gravel. The 20% of existing impervious that is to be treated as meadow per the DEP requirements is held at a CN of 71. The DEP spreadsheets control the CN's set in the table based on the description of the land cover. In order to modify the CN value from 71 to 74 we would have to choose an alternate land cover from the available menu options and then the description would not read "Impervious as Meadow" per their requirement. For this reason, in the model and the DEP spreadsheets we have held the CN of 71 to meet the DEP requirements. The table below illustrates the DEP CN values used in their worksheet.

Pre-Construction Land Cover	Curve Numbers			
	HSG A	HSG B	HSG C	HSG D
Pervious as Meadow	30	58	71	78
Impervious as Meadow	30	58	71	78
Forested (Good Condition)	30	55	70	77
Impervious Areas: Paved Parking Lots, Roofs, Driveways, etc. (Excluding ROW)	98	98	98	98
Impervious Areas: Streets and Roads - Paved; Curbs and Storm Sewers (Excluding ROW)	98	98	98	98
Impervious Areas: Streets and Roads - Paved; Open Ditches (Including ROW)	83	89	92	93
Impervious Areas: Streets and Roads - Gravel (Including ROW)	76	85	89	91
Impervious Areas: Streets and Roads - Dirt (Including ROW)	72	82	87	89
Impervious Areas: Commercial	98	98	98	98
Impervious Areas: Industrial	98	98	98	98
Impervious Areas: Institutional	98	98	98	98

The CN values are based on NRCS' [Urban Hydrology for Small Watersheds \(TR-55\)](#) ("TR-55"). The land covers of "Pervious as Meadow" and "Impervious as Meadow" are equivalent to "Meadow – Continuous Grass, Protected from Grazing and Generally Mowed for Hay" in TR-55, and the land cover of "Forested (Good Condition)" is equivalent to "Woods (Good Condition)" in TR-55.

36. *The Time of Concentration path for Post-Development Uncontrolled Area 1A measures around 350 feet in length, however, it appears that a length of 450 feet is being accounted for in HydroCAD. Please revise as needed (23-408-D.).*

**The Time of Concentration path for the Post-Development Uncontrolled Area 1A has been updated to the correct length of 356 linear feet as shown in the plan.**

37. *The Soil Stockpile Detail states that 8" inlet soxx will be used around the stockpile, however, the plan calls for 18" silt sock. Please revise.*

**The soil stockpile detail has been revised to direct the contractor to follow the Erosion and Sediment Control plans for placement of silt socks.**

We trust that these revised plans will allow you to complete your review for this project. Feel free to reach out to us directly if you have any questions or need additional information.

October 10, 2023  
Dave Hazlett  
Page 8 of 8

Reference: Prelim/Final Sub. & LD Plan - 115 Sanders Rd. Parking Lot Addition

Sincerely,

**STANTEC CONSULTING SERVICES INC.**

**Bill Schnoor** PE, PMP  
Senior Engineering Manager  
Mobile: 223.212.9574  
bill.schnoor@stantec.com



**Jennifer Schafer** LEED, AP  
Phone: 412.219.5547  
Jenn.Schafer@stantec.com

Click or tap here to enter text.



**Stantec Consulting Services Inc.**  
5000 Ritter Road, Suite 102  
Mechanicsburg PA 17055-6922

October 10, 2023

Project/File: 202711948

**Borough Council**  
Borough of Carroll Valley  
5685 Fairfield Road  
Fairfield, PA 17320

Dear Borough Council Members,

**Reference: 115 Sanders Road Parking Lot Addition**

On behalf of the Applicant, Ski Liberty Operating Corp., we hereby request a waiver of the Borough Stormwater Management and Soil Erosion and Sedimentation Control Ordinance § 23-406.J.f to provide a cutoff trench of impervious material within basin embankments.

The Applicant is respectfully requesting the waiver based on design differences between traditional stormwater management basins and current low profile stormwater management BMPs such as the proposed rain garden. The overall depth of the proposed rain garden is only 1.3 feet and therefore a cutoff trench of impervious material would NOT be necessary for impermeability or structural stability of a berm of this height and a width of five (5) minimum.

Sincerely,

**STANTEC CONSULTING SERVICES INC.**

**Bill Schnoor** PE, PMP  
Senior Engineering Manager  
Mobile: 223-212-9574  
bill.schnoor@stantec.com

Click or tap here to enter text.





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5000 Ritter Road, Suite 102  
Mechanicsburg PA 17055-6922

October 10, 2023

Project/File: 202711948

**Borough Council**  
Borough of Carroll Valley  
5685 Fairfield Road  
Fairfield, PA 17320

Dear Borough Council Members,

**Reference: 115 Sanders Road Parking Lot Addition**

On behalf of the Applicant, Ski Liberty Operating Corp., we hereby request a waiver of the Borough Stormwater Management and Soil Erosion and Sedimentation Control Ordinance § 23-406.J.b to provide a minimum top width of eight (8) feet for basin embankments.

The Applicant is respectfully requesting the waiver based on design differences between traditional stormwater management basins and current low profile stormwater management BMPs such as the proposed rain garden. The overall depth of the proposed rain garden is only 1.3 feet and therefore a minimum embankment width of eight (8) would be considered excessive from a design perspective. We are proposing an embankment width of five (5) feet.

Sincerely,

**STANTEC CONSULTING SERVICES INC.**

**Bill Schnoor** PE, PMP  
Senior Engineering Manager  
Mobile: 223-212-9574  
bill.schnoor@stantec.com

Click or tap here to enter text.



**Stantec Consulting Services Inc.**  
5000 Ritter Road, Suite 102  
Mechanicsburg PA 17055-6922

October 10, 2023

Project/File: 202711948

**Borough Council**  
Borough of Carroll Valley  
5685 Fairfield Road  
Fairfield, PA 17320

Dear Borough Council Members,

**Reference: 115 Sanders Road Parking Lot Addition**

On behalf of the Applicant, Ski Liberty Operating Corp., we hereby request a waiver of the Borough Stormwater Management and Soil Erosion and Sedimentation Control Ordinance § 23-406.B to provide an embankment height with a minimum 1.0 foot of freeboard above the maximum pool elevation for the 100-year storm event.

The Applicant is respectfully requesting the waiver based on design differences between traditional stormwater management basins and current low profile stormwater management BMPs such as the proposed rain garden. The depth of the proposed rain garden below the spillway is only 0.6 feet and the overall depth is only 1.3 feet. Providing 1.0 foot of freeboard would nearly double the size of the rain garden. In addition, the proposed design does NOT create any increased safety risk due to the proposed location and use.

Sincerely,

**STANTEC CONSULTING SERVICES INC.**

**Bill Schnoor** PE, PMP  
Senior Engineering Manager  
Mobile: 223-212-9574  
bill.schnoor@stantec.com

Click or tap here to enter text.



**Stantec Consulting Services Inc.**  
5000 Ritter Road, Suite 102  
Mechanicsburg PA 17055-6922

October 10, 2023

Project/File: 202711948

**Borough Council**  
Borough of Carroll Valley  
5685 Fairfield Road  
Fairfield, PA 17320

Dear Borough Council Members,

**Reference: 115 Sanders Road Parking Lot Addition**

On behalf of the Applicant, Ski Liberty Operating Corp., we hereby request a waiver of the Borough Streets and Sidewalks Ordinance § 21.207.5.D to provide a minimum drainage pipe diameter of 15 inches.

The Applicant is respectfully requesting the waiver based on limitations imposed by existing conditions. The pipe diameter of the existing pipe is 12 inches with minimal cover. Increasing the pipe diameter to 15 inches would negatively impact the amount of cover which is constrained by the existing elevations of the roadway and roadside drainage swale. Based on analysis, the proposed 12-inch culvert pipe will perform at 46% capacity for the 25-year storm event.

Sincerely,

**STANTEC CONSULTING SERVICES INC.**

**Bill Schnoor** PE, PMP  
Senior Engineering Manager  
Mobile: 223-212-9574  
bill.schnoor@stantec.com

Click or tap here to enter text.



## *R. Lee Royer & Associates*

*Professional Land Surveying · PA - MD*

*10764 Buchanan Trail East, Waynesboro, PA 17268-9496*

*Ph. 717- 762-5619 Fax 717-762-8211*

*Email: leeroyerassociates@comcast.net*

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November 1, 2023

Carroll Valley Borough  
Attn.: Mr. Dave Hazlett, Mgr.  
5685 Fairfield Road  
Fairfield, PA 17230

Re: Fifty Properties, LLC Land Development Plan

In reference to KPI's comments dated September 29, we offer the following responses:

1. The developer will provide architectural drawings to address Section 803.
2. We are requesting a waiver from the build to line.
3. We have added the 75' Riparian Buffer to the plan and note 13 addresses the plantings. We have also added the calculation to Sheet 5.
4. We are requesting a waiver from having to have the parking in the rear.
5. We have noted the area of commercial in the lot requirements on sheet 1, requiring 4 spaces.
6. Sidewalks are shown providing access to the buildings.
7. We have shown light poles and will provide lighting on the building.
8. We have added note 16.
9. We have added note 17.
10. Acknowledged.
11. We have revised the plan to preliminary.
12. The engineer stamp and signature has been provided.
13. We have revised the location map.
14. Plans have been signed by the owner.
15. We have revised the note because the property was field run for contour data.
16. We have added lot area to the top of Sheet 1 and also Sheet EX1.
17. We have shown the existing septic tank. The drain field location is unknown and we'll be connecting to public sewer. The well location is on the adjoining property.
18. We have met the requirements that require 2 ft contours. We have 1 ft contours where they are crucial.
19. We have added proposed or existing to all easement labels.
20. Building sign and stop signs have been added to the plan.
21. Acknowledged. PennDOT HOP plans will be provided.
22. Acknowledged. Plans & permit will be obtained.
23. We added tree planting details to Sheet 5 & PC4. We've added parking space and sign details to PC4.
24. Acknowledged. PennDOT HOP plans will be provided.
25. Pending.
26. Acknowledged.



27. Acknowledged. Please let developer know the fees if required.
28. Acknowledged. An exemption mailer was submitted to the Borough.
29. A drainage easement along the creek was added to plan.
30. Pending.
31. Acknowledged, but plan has been changed to preliminary.

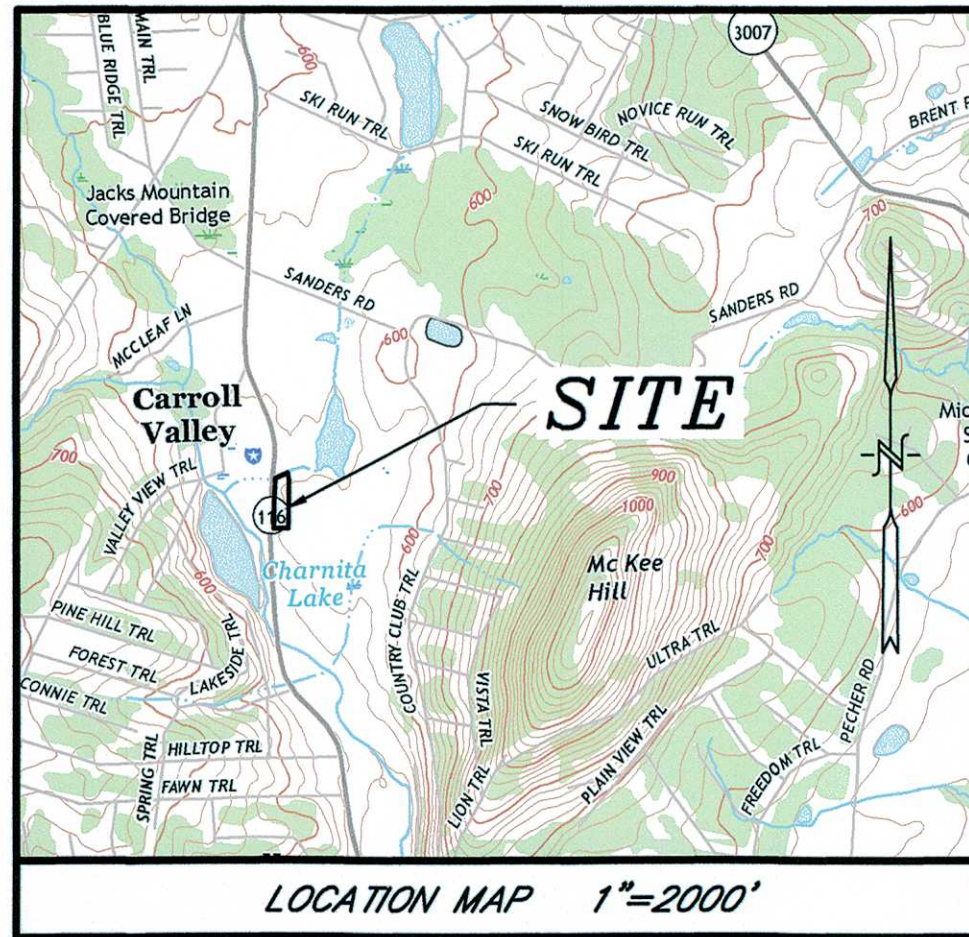
Please review and contact me here at the office to discuss any further questions or concerns. Thank you for your time in this matter.

Sincerely,

A handwritten signature in black ink, appearing to read "R. Lee Royer". The signature is fluid and cursive, with the first letters of the first and last names being capitalized and prominent.

R. Lee Royer, PLS





- NOTES**
- This plan is proposing a mixed use building and parking lot. The building will have 20 apartments and 2 commercial units. There is an existing apartment building with 3 units that will remain.
  - The proposed building will have public water from York Water Co. and sewer from Carroll Valley Borough. The existing house is currently served by on lot water and septic but will hook up to public water and sewer.
  - EX denotes existing.
  - EIP denotes existing iron pin.
  - All corners are set iron pins (SIP) unless otherwise noted.
  - BRL denotes building restriction line.
  - Contours are from field run survey, NAVD88 datum.
  - A portion of the site is located within a flood hazard area according to FEMA Map Panel No. 42001C0351E, dated July 22, 2020, Zone AE. The site is designated in Federal Aviation Administration records as W73. Departures and arrivals may cross over substantial portions of the development.
  - This property is in the Riparian Buffer Overlay. 75' from the stream is the Riparian Buffer area. This area will be planted with trees to restore the buffer. The area is 0.18 acres which requires 11 trees. This plan is proposing 4 river birch, 3 red maples and 10 yucca trees to be planted within the buffer. Trees shall be a minimum of 18 inches in height and shall be sheltered and staked. Should any trees within the buffer die or become damaged within 3 years of planting, such trees shall be replaced.
  - Lighting shall be arranged so as to prevent direct view of the light bulb or lens covering the light bulb from adjoining properties and/or public rights-of-way. Full cut-off light fixtures shall be used to achieve this standard. Lights shall be protected from vehicular traffic by curbing and landscaping.
  - A highway occupancy permit is required pursuant to section 420 of the act of June 1, 1945 CPL 1242, No. 428, known as the State Highway Law, before driveway access to the state highway is permitted.
  - All proposed signs shall meet the requirements of Section 1707.
  - The existing 3-unit apartment building is a pre-existing non-conforming structure due to the front setback.

- PREFERRED DEVELOPMENT STANDARDS**
- All roofs shall have a minimum slope of 3:12 and a maximum slope of 12:12.
  - Reflective, untreated metal roofs are prohibited. All exposed metal surfaces shall be painted in a flat, non-glossy paint to complement or match the color of the exterior roof building material.
  - Blank walls shall not be permitted along any exterior wall facing a street, parking area, or walking area. Walls or portions of walls where windows are not provided shall have architectural treatments that are similar to the front facade, including materials, colors and details. At least four of the following architectural treatments shall be provided: masonry (but not flat concrete block); concrete or masonry plinth at the base of the wall; bell courses of a different texture or color; projecting metal canopy; trellis containing planting; banded windows; artwork; vertical/horizontal articulation achieved by using materials, windows, rooflines, or a combination of all; lighting fixtures; exposed timber; expansive decks; an architectural element not listed above, as approved by the zoning officer following advisory recommendation from the Planning Commission, that meets the intent.
  - Windows: The ground floor front facades of non-residential or Mixed Use Property buildings visible from the pedestrian view shall consist of a minimum of sixty percent (60%) window area and a maximum of seventy-five percent (75%), with views provided through these windows into the business. Ground floor windows shall be a maximum of 12 to 20 inches above the sidewalk.
  - Upper story windows of front facades of non-residential or Mixed Use Property buildings shall not be boarded or covered and shall comprise a minimum of thirty-five percent (35%) window area in the facade above the ground floor and a maximum of seventy-five percent (75%).
  - Smoked, reflective, or black glass in windows is prohibited.

- GENERAL NOTES**
- NO SUBSURFACE INVESTIGATION HAS BEEN PERFORMED BY R. LEE ROYER & ASSOCIATES TO DETERMINE THE EXISTENCE OR LOCATION OF GROUND WATER, ROCK OR OTHER NATURAL OR MAN MADE FEATURES EXCEPT AS SPECIFICALLY INDICATED.
  - EXISTING UTILITY INFORMATION SHOWN HEREON ARE FROM DRAWINGS AND OR OTHER SOURCES PROVIDED BY THE OWNERS OF THE VARIOUS UTILITIES. THE CONTRACTOR MUST NOTIFY PENNSYLVANIA'S ONE CALL SYSTEM AT 1-800-943-7764 A MINIMUM OF 72 HOURS BEFORE BEGINNING ANY WORK SHOWN ON THESE PLANS. ANY DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT THEIR EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER.
  - THE CONTRACTOR SHALL NOTIFY THE APPLICABLE MUNICIPALITY, COUNTY, AND OR STATE AUTHORITIES AT LEAST 72 HOURS IN BEFORE BEGINNING ANY WORK WITHIN THE PUBLIC RIGHT (S) OF WAY.
  - THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS BEFORE STARTING CONSTRUCTION. ANY DAMAGE TO FACILITIES, STRUCTURES, PAVEMENT OR THE MAN MADE ITEMS ON OR ADJACENT TO THE SITE OR NOT SPECIFICALLY INDICATED FOR DEMOLITION SHALL BE REPAIRED OR REPLACED AT THE CONTRACTORS EXPENSE AND TO THE SATISFACTION OF THE OWNERS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE LEGAL AND REGULATORY REQUIREMENTS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING ALL SOIL EROSION AND SEDIMENT CONTROLS SHOWN ON THESE PLANS.
  - ANY BENCHMARKS SHOWN ON THESE PLANS MUST BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. R. LEE ROYER & ASSOCIATES DO NOT WARRANT THE CURRENT CONDITION OR ACCURACY OF ANY BENCHMARK SHOWN ON THESE PLANS.

**GENERAL DISCLAIMER NOTE:**  
 ALL UTILITIES SHOWN ARE APPROXIMATE IN LOCATION AND DEPTH. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND CONDITION IN THE FIELD WITH THE REPRESENTATIVE OF THE UTILITY IN QUESTION. R. LEE ROYER & ASSOCIATES DO NOT ASSUME ANY RESPONSIBILITY FOR THE ACCURACY OR SUFFICIENCY OF THE DATA PROVIDED ON EXISTING UTILITIES AND FURTHERMORE WILL ASSUME NO RESPONSIBILITY FOR ANY COSTS OR CONDITIONS RESULTING FROM THE INACCURACY OR INSUFFICIENCY IN THE RECORD. THE CONTRACTOR SHALL CONTACT THE UTILITY REPRESENTATIVE FOR THE ACTUAL LOCATION OF THEIR UTILITY BEFORE ANY WORK IS BEGUN ON THIS PROJECT. THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITIONS.

**LOT REQUIREMENTS: CC (COMMUNITY CORE)  
 MIXED USE (APARTMENT & COMMERCIAL)  
 PREFERRED DEVELOPMENT STANDARDS**  
 LOT SIZE: 20,000 SQ FT PER BLDG + 10,000 SF FOR OTHER USE = 60,000 SF REQUIRED  
 LOT WIDTH: 100 FT  
 LOT DEPTH: 175 FT  
 FRONT YARD/BUILD TO LINE: 10 FT  
 SIDE YARD: 10 FT  
 REAR YARD: 15 FT  
 BUILDING HEIGHT: 35 FT  
 MAX. LOT COVERAGE: 75%; 41% PROVIDED  
 MIN. VEGETATIVE COVERAGE: 25%; 59% PROVIDED  
 MIN. DWELLING UNIT LIVABLE FLOOR AREA: 400 SF  
 FLOOR AREA RATIO: 0.45; 0.13 PROVIDED  
 PARKING: 1.5 SPACES FOR EACH APARTMENT (35 REQUIRED) & 1 SPACE FOR EVERY 500 SF OF CUSTOMER FLOOR AREA (2000 SF = 4 REQUIRED)  
 39 SPACES REQUIRED; 39 PROVIDED

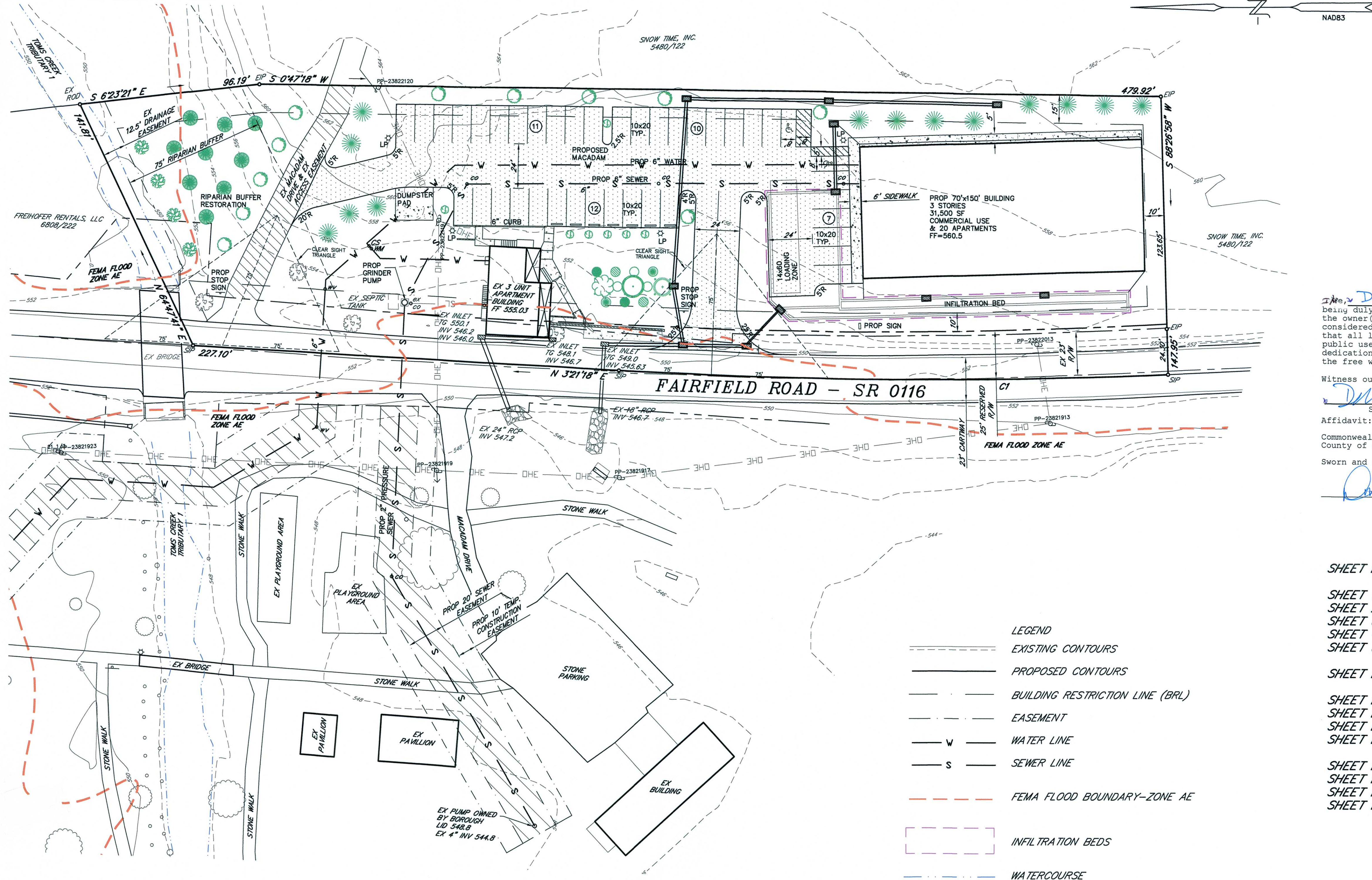
**LOT SIZE**  
 Gross  
 1.85 Acres  
 80,703 SF  
 Net (Lot area excluding street R/W, driveway easement & flood plain)  
 1.41 Acres  
 61,270 SF

**SOILS**  
 PaB - Penn-Kilnsville channery silt loams, 3-BX slopes  
 Rv - Rowland silt loam

Curve Table				
Curve #	Bearing	Chord Length	Radius	Arc Length
C1	S 00°25'48" W	292.38'	2864.93'	292.51'

1" 9.5 MM SUPER PAVE
3" 25 MM SUPER PAVE
6" PA #2A STONE ROLLED AND COMPACTED

**PAVING DETAIL**



**STORM WATER OWNERSHIP & MAINTENANCE SCHEDULE:**

- THE PROPERTY OWNER OF THE LOT SHALL OWN THE STORM WATER MANAGEMENT (SWM) FACILITIES LOCATED ON THE LOT.
- THE STORM WATER MANAGEMENT FACILITIES SHOWN ON THESE PLANS SHALL BE CONSTRUCTED AND MAINTAINED BY THE OWNER.
- THE OWNER, HIS HEIRS OR ASSIGNS SHALL BE RESPONSIBLE FOR THE CONTINUING MAINTENANCE OF THE FACILITIES WHICH SHALL INCLUDE SUCH ITEMS AS MOWING, CLEANING AND REMOVAL OF SEDIMENTS AND OR DEBRIS. THE TIME PERIOD FOR THIS CONTINUING MAINTENANCE SHALL BE ON AN AS NEEDED BASIS BUT SHALL NOT BE DELAYED LONGER THAN 30 DAYS.
- THE OWNER, HIS HEIRS OR ASSIGNS SHALL BE RESPONSIBLE FOR REPAIR OF ANY STRUCTURAL DAMAGES OR FAILURE WHICH MAY OCCUR AS A RESULT OF NEGLIGENCE, ACCIDENT OR MISUSE. IN THE EVENT OF STRUCTURAL DAMAGE, THE OWNER SHALL BE RESPONSIBLE TO MAKE THE NECESSARY REPAIRS AS QUICKLY AS POSSIBLE, BUT IN ANY CASE, WITHIN 60 DAYS.
- THE BOROUGH HAS THE RIGHT TO ACCESS THE FACILITIES FOR PERIODIC INSPECTION AND IF THE OWNER FAILS TO REPAIR DAMAGES TO THE SWM FACILITIES WITHIN 60 DAYS OF THE BOROUGH BEING AWARE OF SUCH DAMAGE, THE BOROUGH MAY REPAIR THE SWM FACILITIES AT THE COST OF THE OWNER.

WE HEREBY ACKNOWLEDGE AND UNDERSTAND THAT THE STORMWATER MANAGEMENT SYSTEM AND FACILITIES THAT ARE SHOWN HEREON AND DESCRIBED IN THE STORM WATER MANAGEMENT REPORT ARE PERMANENT AND CANNOT BE ALTERED OR REMOVED WITHOUT SPECIFIC APPROVAL OF A REVISED PLAN BY CARROLL VALLEY BOROUGH.

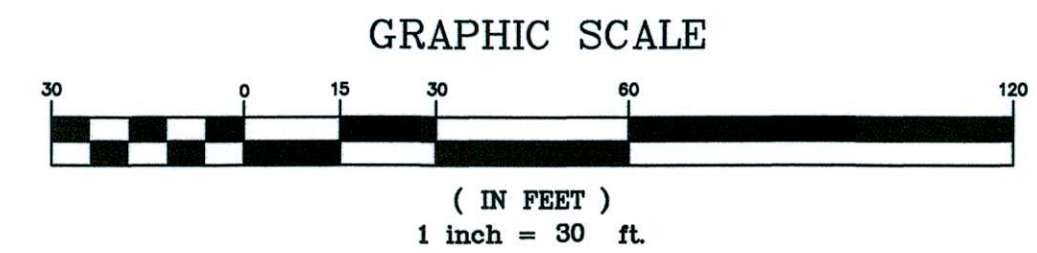
*[Signature]* 8-17-2023  
 NAME DATE

I HEREBY CERTIFY THAT TO THE BEST OF MY ABILITY AND KNOWLEDGE, THE DRAINAGE PLAN SHOWN HEREON AND DESCRIBED IN THE STORMWATER MANAGEMENT REPORT MEETS ALL OF THE DESIGN STANDARDS AND CRITERIA OF THE ANTIETAM CREEK WATERSHED ACT 167 STORMWATER MANAGEMENT ORDINANCES.

*[Signature]* 8/9/23  
 MICHAEL HICKS, PE DATE



- LEGEND**
- EXISTING CONTOURS
  - PROPOSED CONTOURS
  - BUILDING RESTRICTION LINE (BRL)
  - EASEMENT
  - W WATER LINE
  - S SEWER LINE
  - FEMA FLOOD BOUNDARY-ZONE AE
  - INFILTRATION BEDS
  - WATERCOURSE
  - DEEP HOLE & PERC
  - PROPOSED LIGHT POLE



**CARROLL VALLEY BOROUGH PLANNING**  
 Approved or Reviewed by the Carroll Valley Borough Planning Commission  
 this \_\_\_ day of \_\_\_ 2023

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

**ADAMS COUNTY PLANNING**  
 Approved or Reviewed by the Adams County Planning Department  
 this \_\_\_ day of \_\_\_ 2023

STAFF \_\_\_\_\_

**SURVEYORS CERTIFICATE**  
 I hereby certify that this survey and plan are correct.  
*[Signature]*  
 Registered Surveyor No. 28856-E

**OWNER/DEVELOPER:**  
 FIFTY PROPERTIES, LLC  
 C/O DAVE RAWLINGS  
 73 SHIRLEY TRAIL  
 FAIRFIELD, PA 17320  
 (301) 730-3539  
 Deed recorded in Adams County  
 Deed Book 6750 Page 365  
 TAX MAP 43014 PARCEL 5

**APPROVAL LIST**

- ADAMS COUNTY PLANNING
- CARROLL VALLEY BOROUGH PLANNING COMMISSION
- CARROLL VALLEY BOROUGH COUNCIL
- ADAMS COUNTY CONSERVATION DISTRICT
- YORK WATER COMPANY

*[Signature]* David Rawlings, Member  
 being duly sworn, according to law, depose that I/We am/are the owner(s) of record of the lands shown hereon, being considered for subdivision or land development approval, and that all lands, rights-of-way and easements designated for public use, if not previously, are hereby tendered for dedication for public use. We have submitted this plan with the free will and consent of those who have signed.

Witness our hands and seals this 18 day of August 2023

*[Signature]*  
 Affidavit:  
 Commonwealth of Pennsylvania  
 County of Franklin

Sworn and subscribed to me this 18th day of August 2023

*[Signature]*  
 NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal  
 Doreen M. Bailey, Notary Public  
 Franklin County  
 My commission expires April 29, 2024  
 Commission number 1206263  
 Member, Pennsylvania Association of Notaries

- SHEET INDEX**
- SHEET 1- LAND DEVELOPMENT PLAN
  - SHEET 2- GRADING & STORMWATER PLAN
  - SHEET 3- WATERLINE PLAN
  - SHEET 4- PROFILES
  - SHEET 5- LANDSCAPE PLAN
  - SHEET EX1- EXISTING CONDITIONS PLAN
  - SHEET ES1- EROSION & SEDIMENT CONTROL PLAN
  - SHEET ES2- EROSION & SEDIMENT CONTROL PLAN
  - SHEET ES3- E&S NOTES AND DETAILS
  - SHEET ES4- E&S NOTES AND DETAILS
  - SHEET PC1- POST CONSTRUCTION SWM PLAN
  - SHEET PC2- POST CONSTRUCTION SWM PLAN
  - SHEET PC3- PCSM NOTES & DETAILS
  - SHEET PC4- PCSM NOTES & DETAILS

**CALL BEFORE YOU DIG!**  
 PENNSYLVANIA LAW REQUIRES  
 3 WORKING DAYS NOTICE FOR  
 CONSTRUCTION PHASE AND 10 WORKING  
 DAYS IN DESIGN STAGE - STOP CALL

**PMI** PCSI SERIAL NUMBER  
 1-800-242-1776 20231232414

**Record of Revisions**

Date	Initials	Revision Made
11/1/23	JAS	per KPI comments

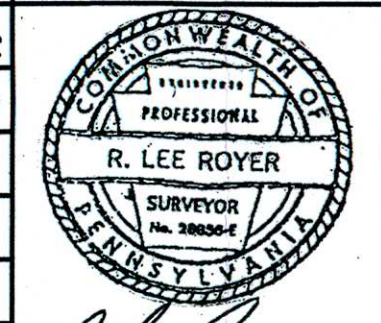
Area 1.85 AC.  
 Scale 1" = 30'  
 Date 7/25/23  
 Drawn JAS  
 Checked  
 File 8/701

*[Signature]*

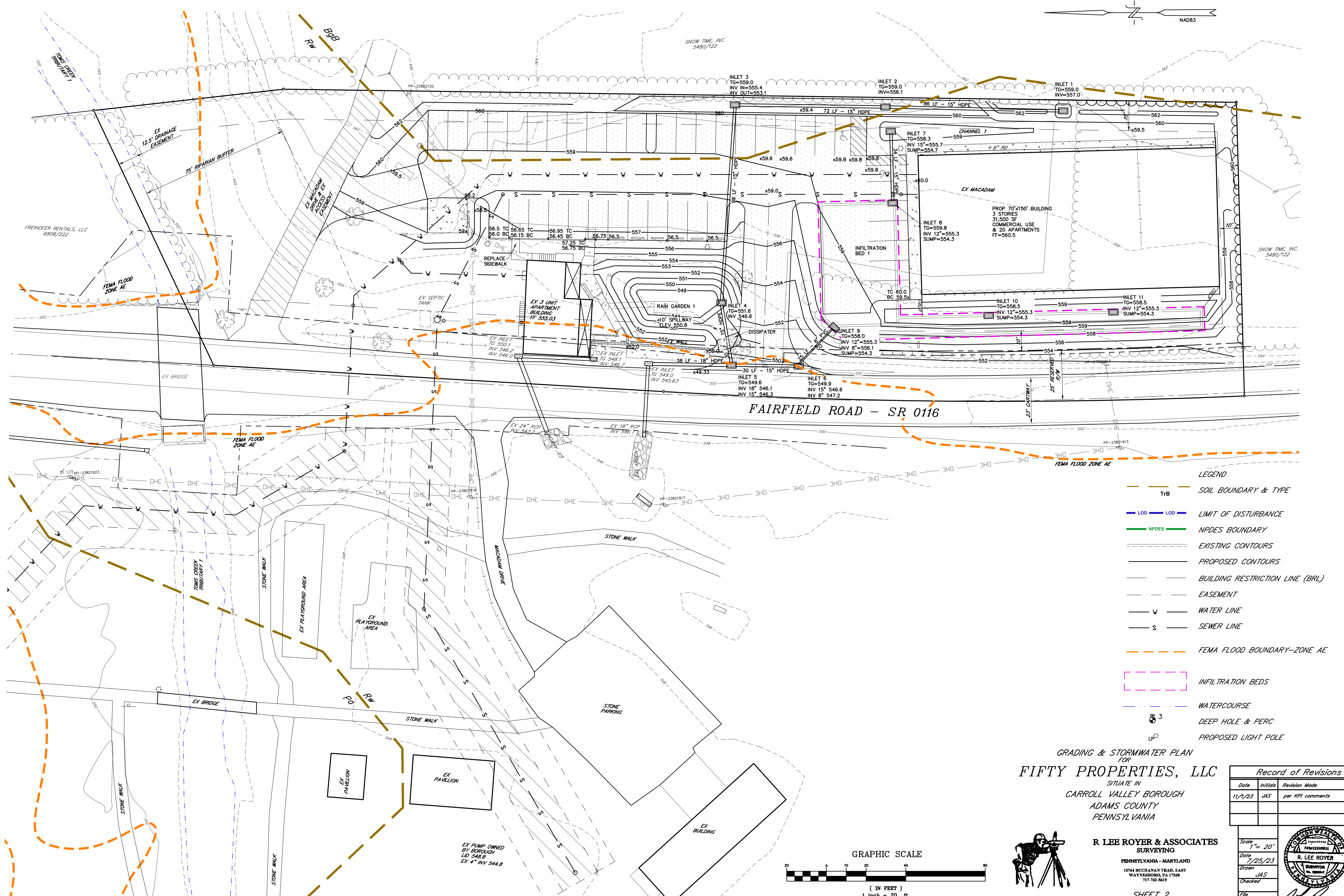
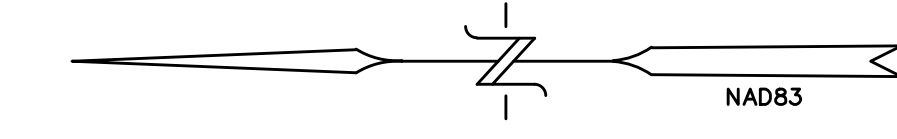
**PRELIMINARY LAND DEVELOPMENT PLAN**  
 FOR  
**FIFTY PROPERTIES, LLC**  
 SITUATE IN  
 CARROLL VALLEY BOROUGH  
 ADAMS COUNTY  
 PENNSYLVANIA

**R LEE ROYER & ASSOCIATES**  
 SURVEYING  
 PENNSYLVANIA - MARYLAND  
 10764 BUCHANAN TRAIL EAST  
 WAYNESBORO, PA 17268  
 717-762-5619

**SHEET 1**







SNOW TIME, INC.  
5480/122

FREIHOFER RENTALS, LLC  
6808/222

SNOW TIME, INC.  
5480/122

FAIRFIELD ROAD - SR 0116

- LEGEND**
- TrB SOIL BOUNDARY & TYPE
  - LOD LOD LIMIT OF DISTURBANCE
  - NPDES NPDES BOUNDARY
  - EXISTING CONTOURS
  - PROPOSED CONTOURS
  - BUILDING RESTRICTION LINE (BRL)
  - EASEMENT
  - W WATER LINE
  - S SEWER LINE
  - FEMA FLOOD BOUNDARY-ZONE AE
  - INFILTRATION BEDS
  - WATERCOURSE
  - DEEP HOLE & PERC
  - PROPOSED LIGHT POLE

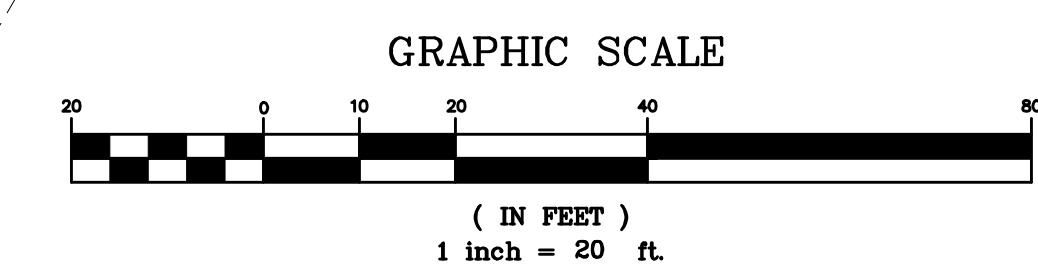
GRADING & STORMWATER PLAN  
FOR  
**FIFTY PROPERTIES, LLC**  
SITUATE IN  
CARROLL VALLEY BOROUGH  
ADAMS COUNTY  
PENNSYLVANIA

**R LEE ROYER & ASSOCIATES**  
SURVEYING - MARYLAND  
10764 BUCHANAN TRAIL EAST  
WAYNESBORO, PA 17368  
717-763-6619

Record of Revisions		
Date	Initials	Revision Made
11/1/23	JAS	per KPI comments

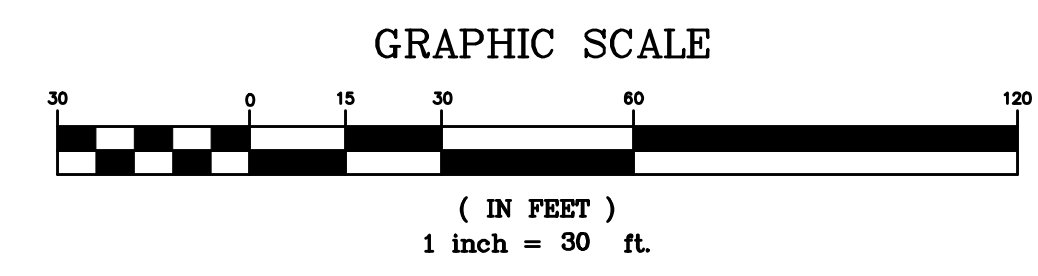
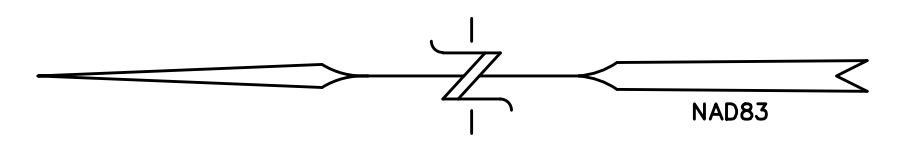
  

Scale	1" = 20'
Date	7/25/23
Drawn	JAS
Checked	
File	8701



SHEET 2





WATERLINE PLAN  
FOR  
**FIFTY PROPERTIES, LLC**  
SITUATE IN  
CARROLL VALLEY BOROUGH  
ADAMS COUNTY  
PENNSYLVANIA



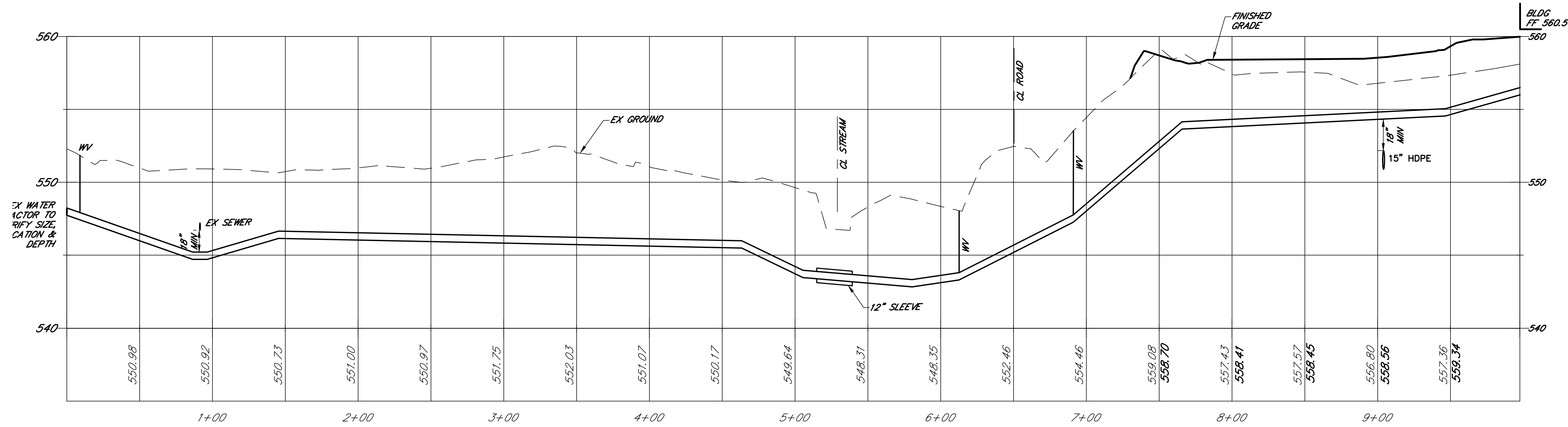
**R LEE ROYER & ASSOCIATES**  
SURVEYING  
PENNSYLVANIA - MARYLAND  
10764 BUCHANAN TRAIL EAST  
WAYNESBORO, PA 17368  
717-763-6619

SHEET 3

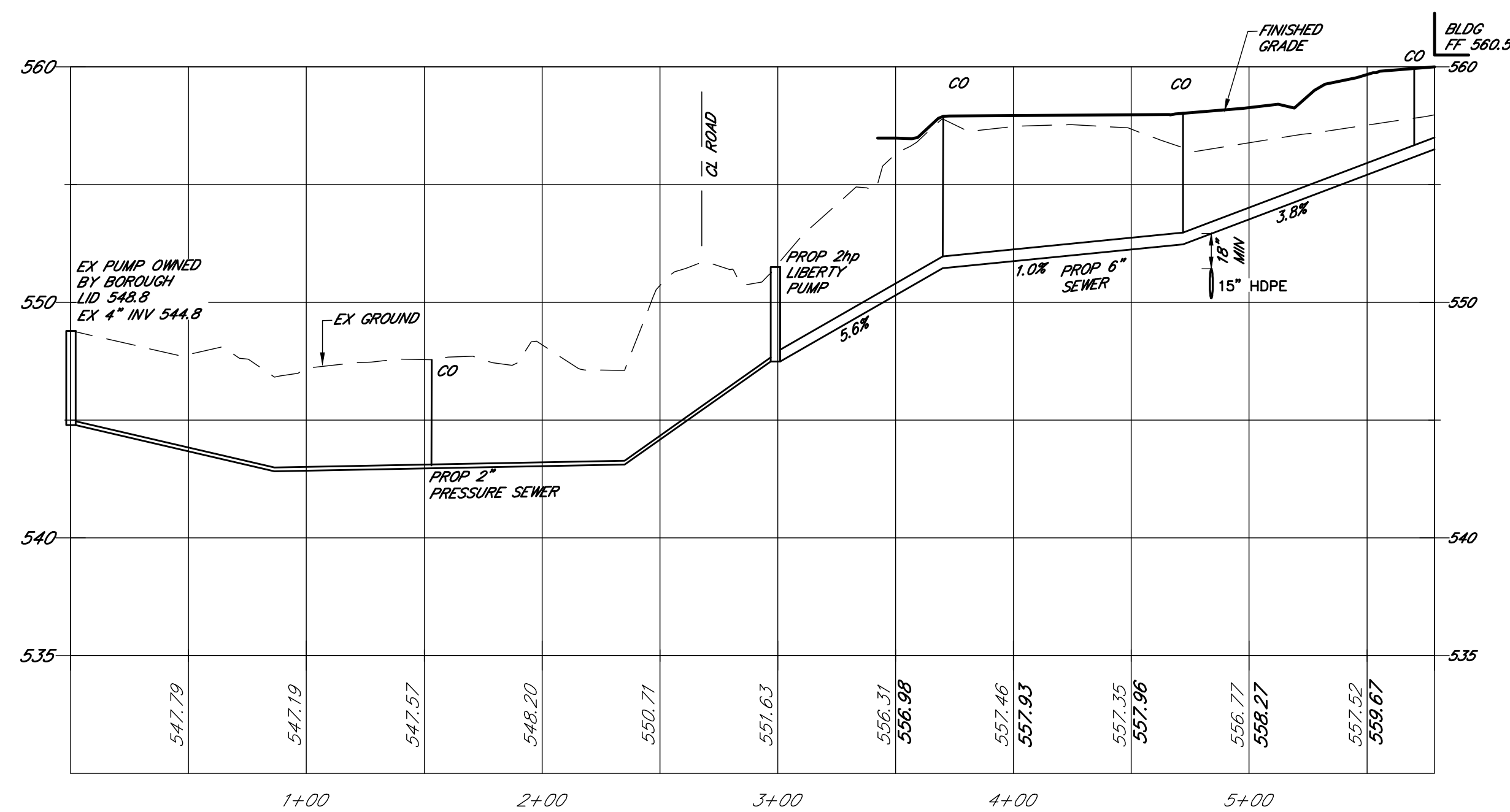
Record of Revisions		
Date	Initials	Revision Made
11/1/23	JAS	per RPI comments

Scale	1" = 30'
Date	7/25/23
Drawn	JAS
Checked	
File	8701

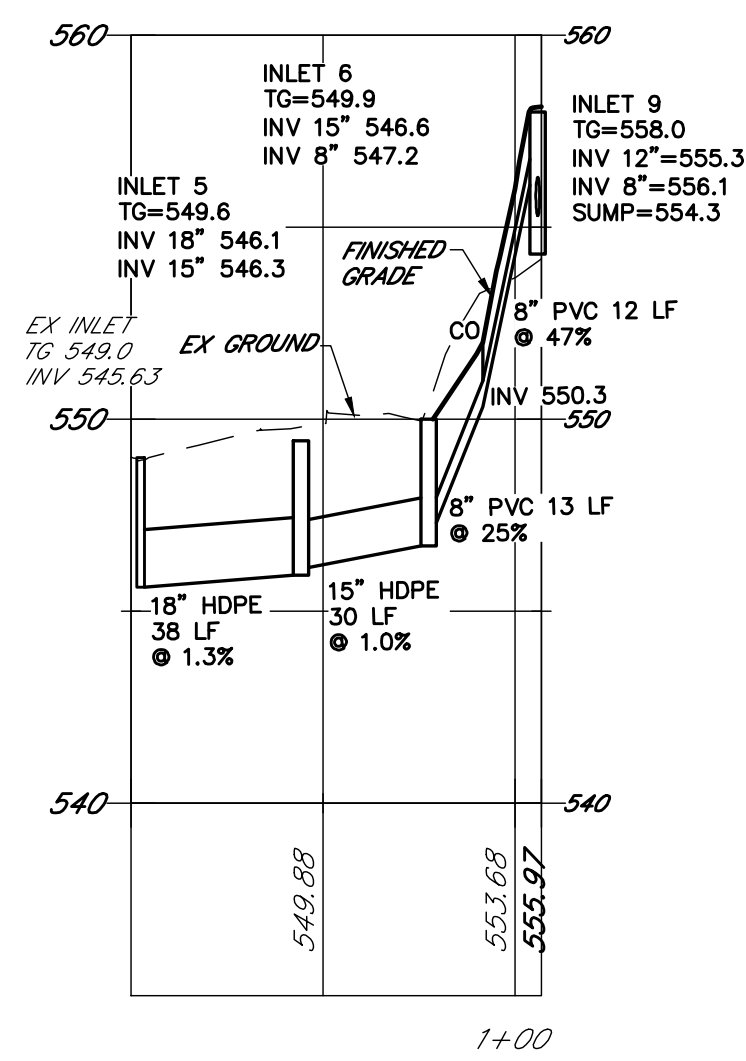




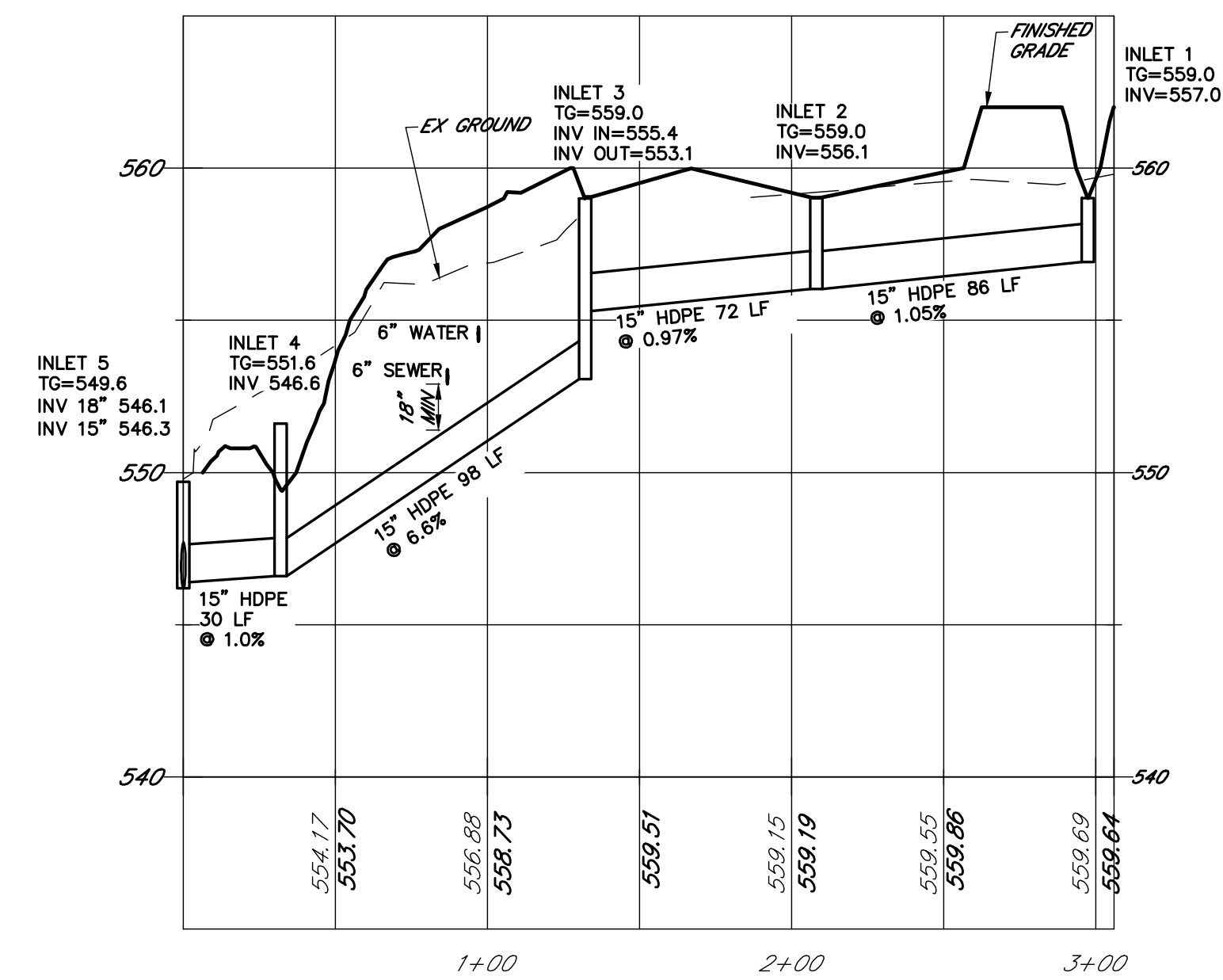
WATERLINE PROFILE



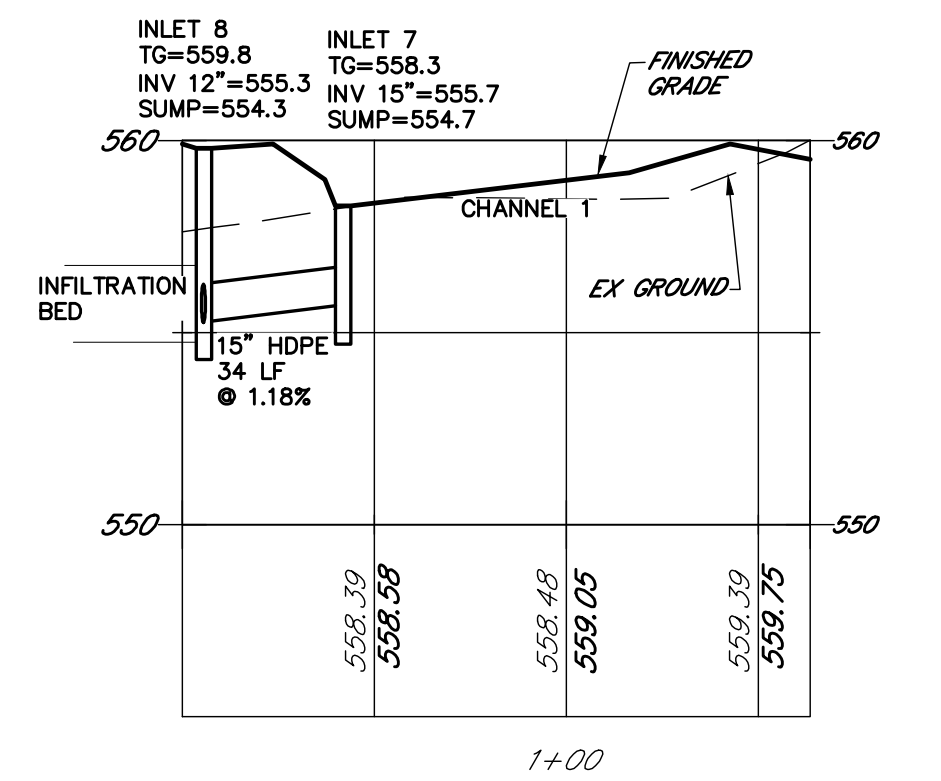
SEWER PROFILE



INLET 5, 6 & 9 PROFILE



INLET 5, 4, 3, 2 & 1 PROFILE



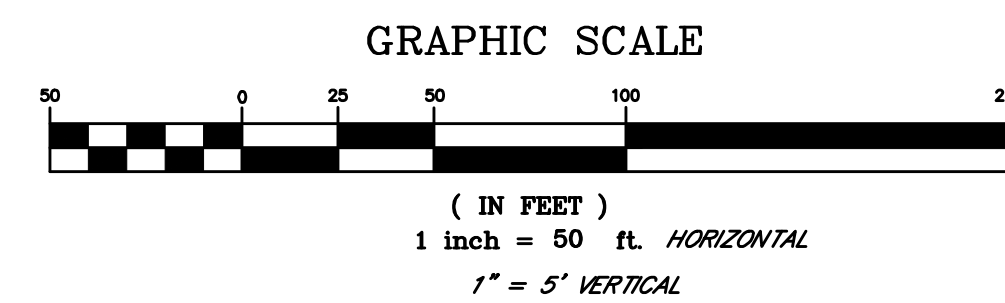
INLET 8 & 7 AND CHANNEL 1 PROFILE

**ALL MATERIALS NOTE: SEWER**

All materials and construction of the sewer system shall be in accordance with the Carroll Valley Borough sewer material and construction specifications. In the event the developer's plans and the Borough's standards vary, the Borough's standards shall be the governing specifications. The contractor shall schedule a pre-construction meeting with the authority manager a minimum of two weeks before starting construction.

**ALL MATERIALS NOTE: WATER**

All materials and construction of the water system shall be in accordance with the York Water Company sewer material and construction specifications. In the event the developer's plans and the Company's standards vary, the Company's standards shall be the governing specifications. The contractor shall schedule a pre-construction meeting with the authority manager a minimum of two weeks before starting construction.



WATER, SEWER & STORM PIPE PROFILES  
FOR  
**FIFTY PROPERTIES, LLC**  
SITUATE IN  
CARROLL VALLEY BOROUGH  
ADAMS COUNTY  
PENNSYLVANIA



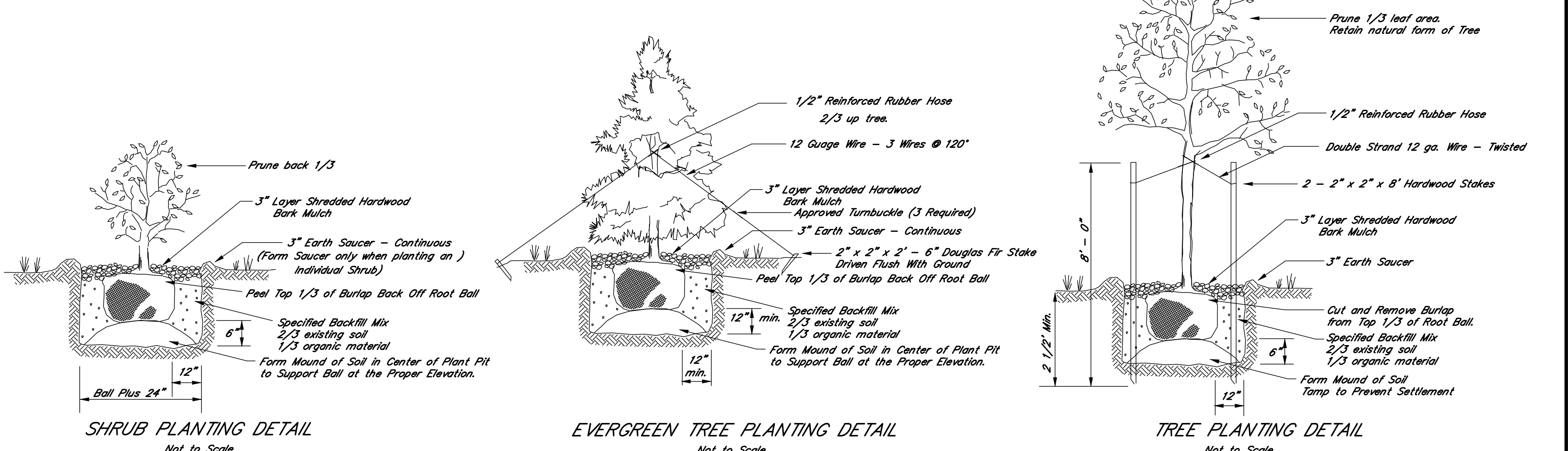
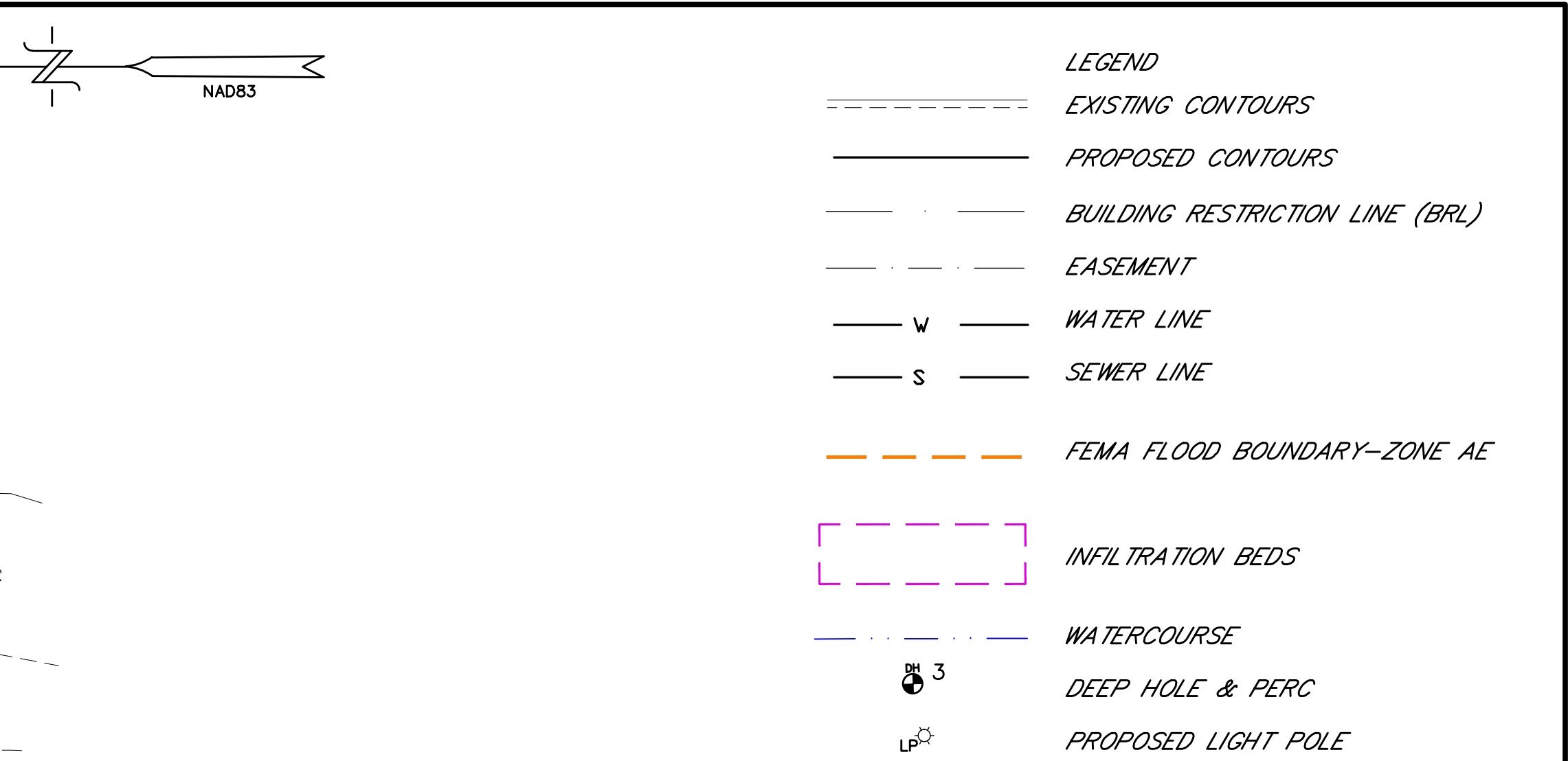
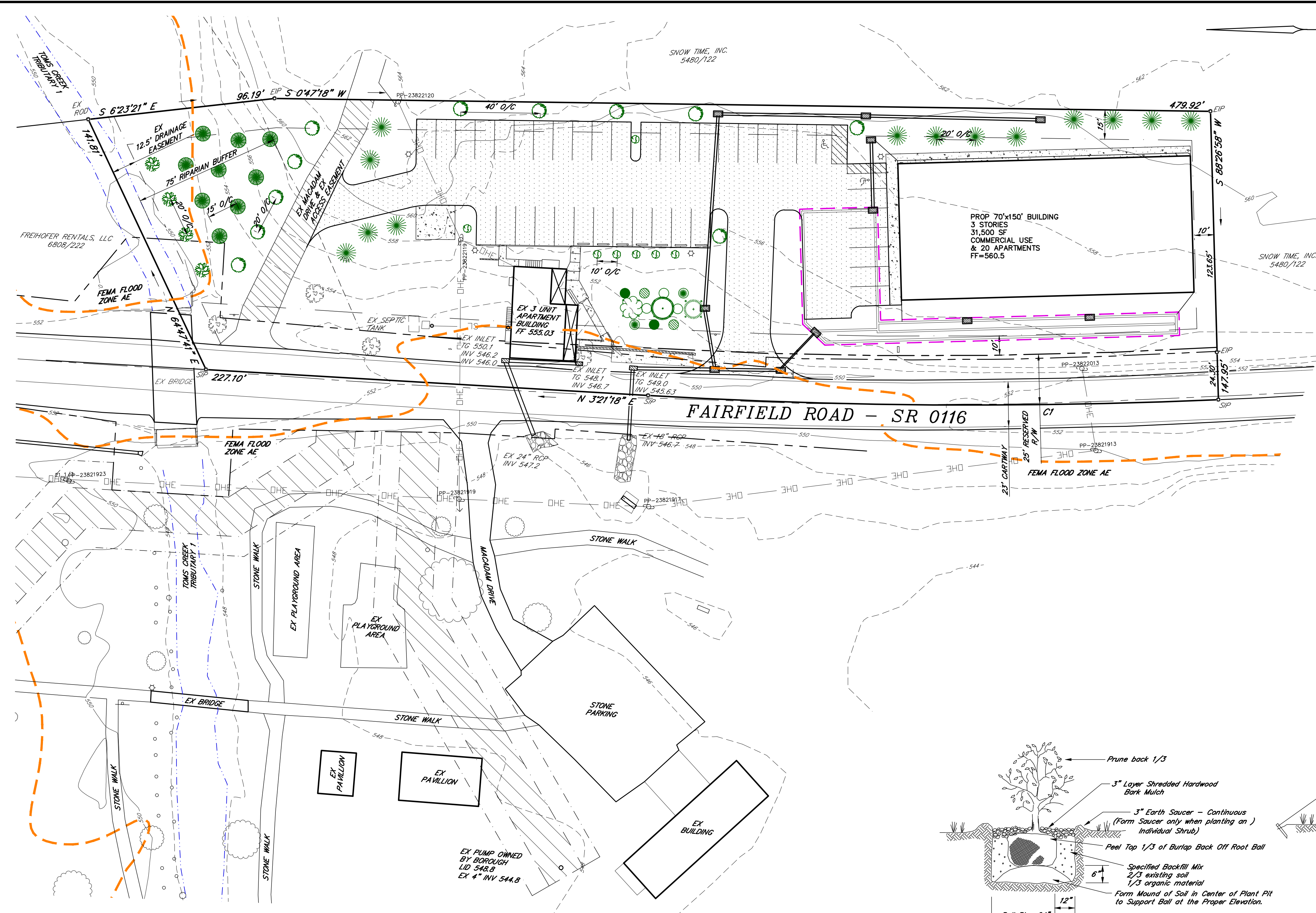
**R LEE ROYER & ASSOCIATES**  
SURVEYING  
PENNSYLVANIA - MARYLAND  
10764 BUCHANAN TRAIL EAST  
WAYNESBORO, PA 17268  
717-763-5619

SHEET 4

Record of Revisions		
Date	Initials	Revision Made

Scale 1" = 50'  
Date 7/25/23  
Drawn JAS  
Checked  
File 8701





RIPARIAN BUFFER LANDSCAPE SCHEDULE					
SYMBOL	COMMON NAME	BOTANICAL NAME	REMARKS	QUANTITY	MIN. PLANT SIZE
	RED MAPLE	ACER RUBRUM	MULCH, STAKE & SHELTER	5	18" HEIGHT
	SYCAMORE	PLATANUS OCCIDENTALIS	MULCH, STAKE & SHELTER	10	18" HEIGHT
	RIVER BIRCH	BETULA NIGRA	MULCH, STAKE & SHELTER	4	18" HEIGHT

PARKING AREA LANDSCAPE SCHEDULE							
SYMBOL	COMMON NAME	BOTANICAL NAME	REMARKS	QUANTITY	MIN. PLANT SIZE	MATURE HEIGHT (FT)	MATURE SPREAD (FT)
	EASTERN WHITE PINE	PINUS STROBES	MULCH	13	3" CALIPER	50-80	20-40
	RED MAPLE	ACER RUBRUM	MULCH	6	3" CALIPER	40-60	30-50
	INKBERRY	ILEX GLABRA	MULCH	7	2 GAL CONTAINER	5-10	5-8

RAINGARDEN LANDSCAPE SCHEDULE							
SYMBOL	COMMON NAME	BOTANICAL NAME	REMARKS	QUANTITY	MIN. PLANT SIZE	MATURE HEIGHT (FT)	MATURE SPREAD (FT)
	WITCH HAZEL	HAMAMELIS VIRGINIANA	MULCH	1	3" HT	6-10	8-15
	GRAY DOGWOOD	CORNUS RACEMOSA	MULCH	1	3" HT	10-15	10-15
	WASHINGTON HAWTHORN	CRATAEGUS PHAENOPYRUM	MULCH	7	3" HT	25-30	25
	LOWBUSH BLUEBERRY	VACCINIUM ANGUSTIFOLIUM	MULCH	2	18" HT	0.5-2	2
	RED OSIER DOGWOOD	CORNUS SERICEA	MULCH	2	18" HT	6-9	8-12
	BUTTONBUSH	CEPHALANTHUS OCCIDENTALIS	MULCH	2	18" HT	5-12	4-8
	WINTERBERRY	ILEX VERTICILLATA	MULCH	3	18" HT	3-5	3-5

RIPARIAN BUFFER RESTORATION TREE CALCULATION  
 0.21 Ac. Riparian Buffer Area  
 = 0.02 Ac. driveway  
 = 0.19 Ac. x 55' = 11 trees required, 19 shown  
 RIPARIAN BUFFER RESTORATION TREES  
 1. Trees shall be planted a minimum of 15' on center.  
 2. Trees shall be planted as seedlings with a minimum height of eighteen (18) inches.  
 3. Trees shall be sheltered and staked to prevent damage from competing plants, and from animals and/or maintenance equipment. At a minimum, the tree shelter shall be comprised of a four (4) foot tree tube. The tree tube shall be retained until such time that the tree achieves a height that precludes deer browsing damage.  
 4. Should any trees within the buffer die or become damaged within three (3) years of planting, such trees shall be replaced.

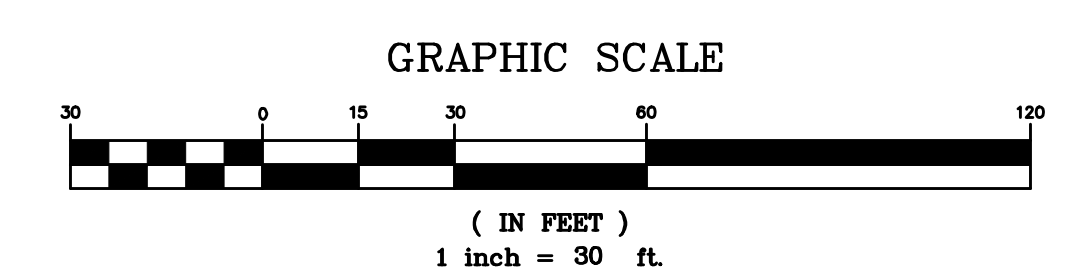
LANDSCAPE PLAN FOR  
**FIFTY PROPERTIES, LLC**  
 SITUATE IN  
 CARROLL VALLEY BOROUGH  
 ADAMS COUNTY  
 PENNSYLVANIA

**R LEE ROYER & ASSOCIATES**  
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 PENNSYLVANIA - MARYLAND  
 10764 BUCHANAN TRAIL EAST  
 WAYNESBORO, PA 17268  
 717-763-5619

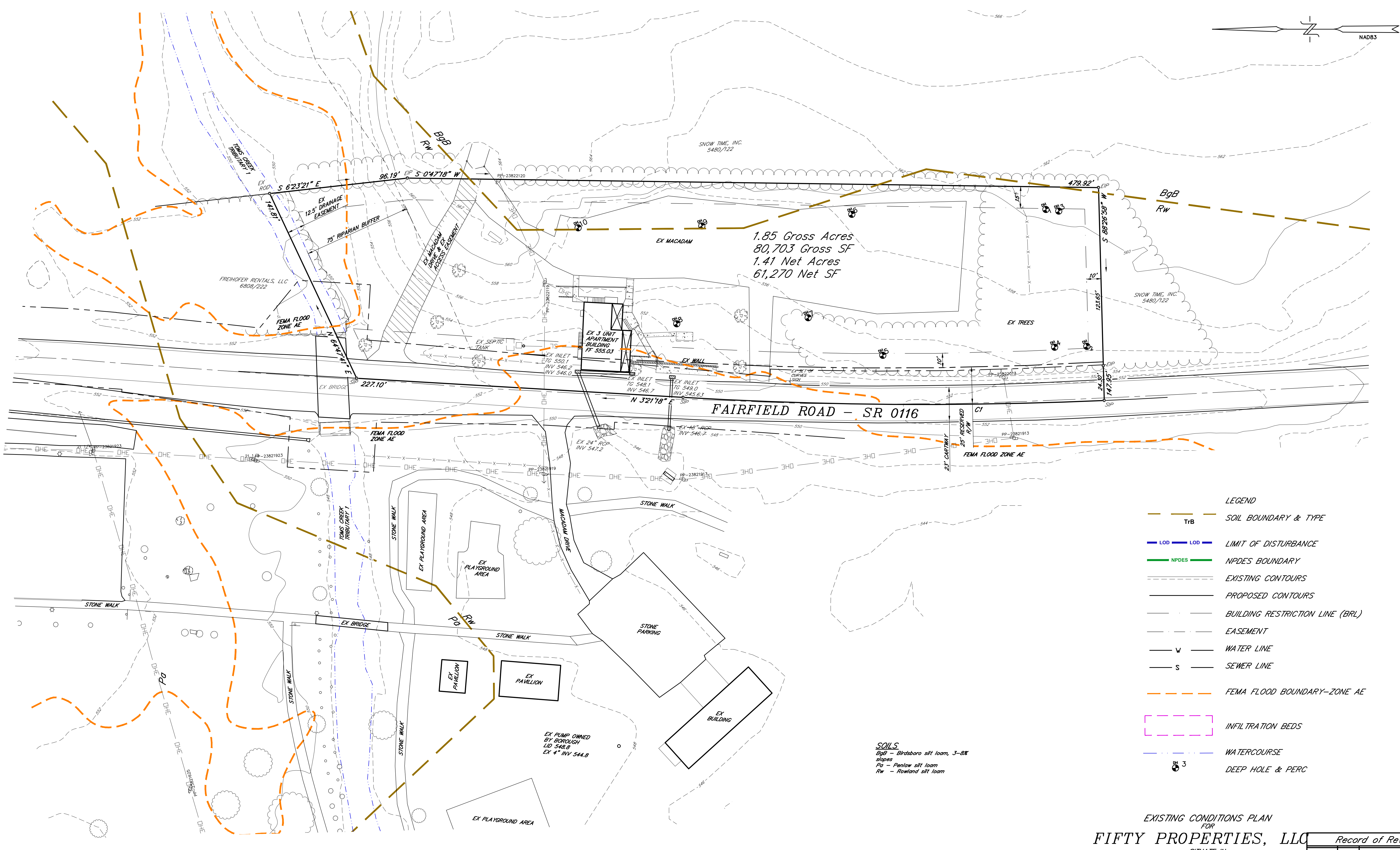
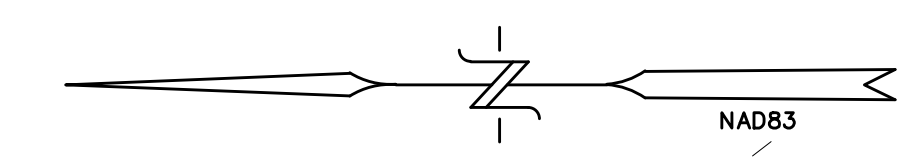
Record of Revisions		
Date	Initials	Revision Made
11/1/23	JAS	per KPI comments

Area	1.85 AC.
Scale	1" = 30'
Date	7/25/23
Drawn	JAS
Checked	JAS
File	8701







1.85 Gross Acres  
80,703 Gross SF  
1.41 Net Acres  
61,270 Net SF

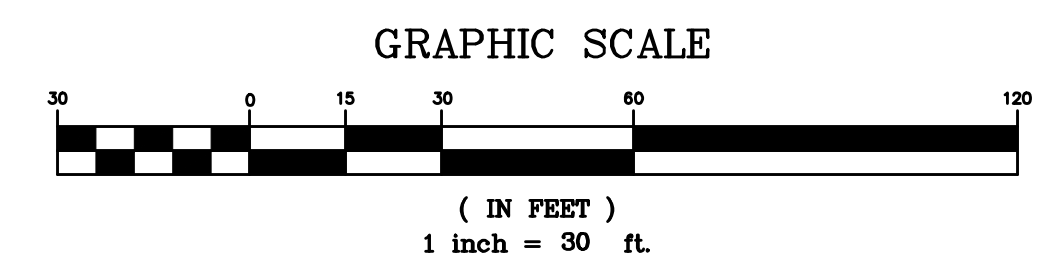
FAIRFIELD ROAD - SR 0116

LEGEND

- TrB SOIL BOUNDARY & TYPE
- LOD LIMIT OF DISTURBANCE
- NPDES NPDES BOUNDARY
- EXISTING CONTOURS
- PROPOSED CONTOURS
- BUILDING RESTRICTION LINE (BRL)
- EASEMENT
- WATER LINE
- SEWER LINE
- FEMA FLOOD BOUNDARY-ZONE AE
- INFILTRATION BEDS
- WATERCOURSE
- DEEP HOLE & PERC

SOILS  
EgB - Birdsboro silt loam, 3-8% slopes  
Pa - Pottsville silt loam  
Rw - Rowland silt loam

Curve Table				
Curve #	Bearing	Chord Length	Radius	Arc Length
C1	S 00°25'48" W	292.38'	2864.93'	292.51'



EXISTING CONDITIONS PLAN  
FOR  
**FIFTY PROPERTIES, LLC**  
SITUATE IN  
CARROLL VALLEY BOROUGH  
ADAMS COUNTY  
PENNSYLVANIA

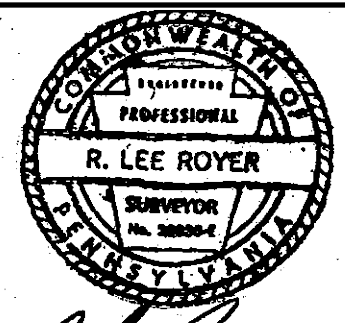


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10764 BUCHANAN TRAIL, EAST  
WAYNESBORO, PA 17368  
717-763-5619

Record of Revisions		
Date	Initials	Revision Made
11/1/23	JAS	per KPI comments

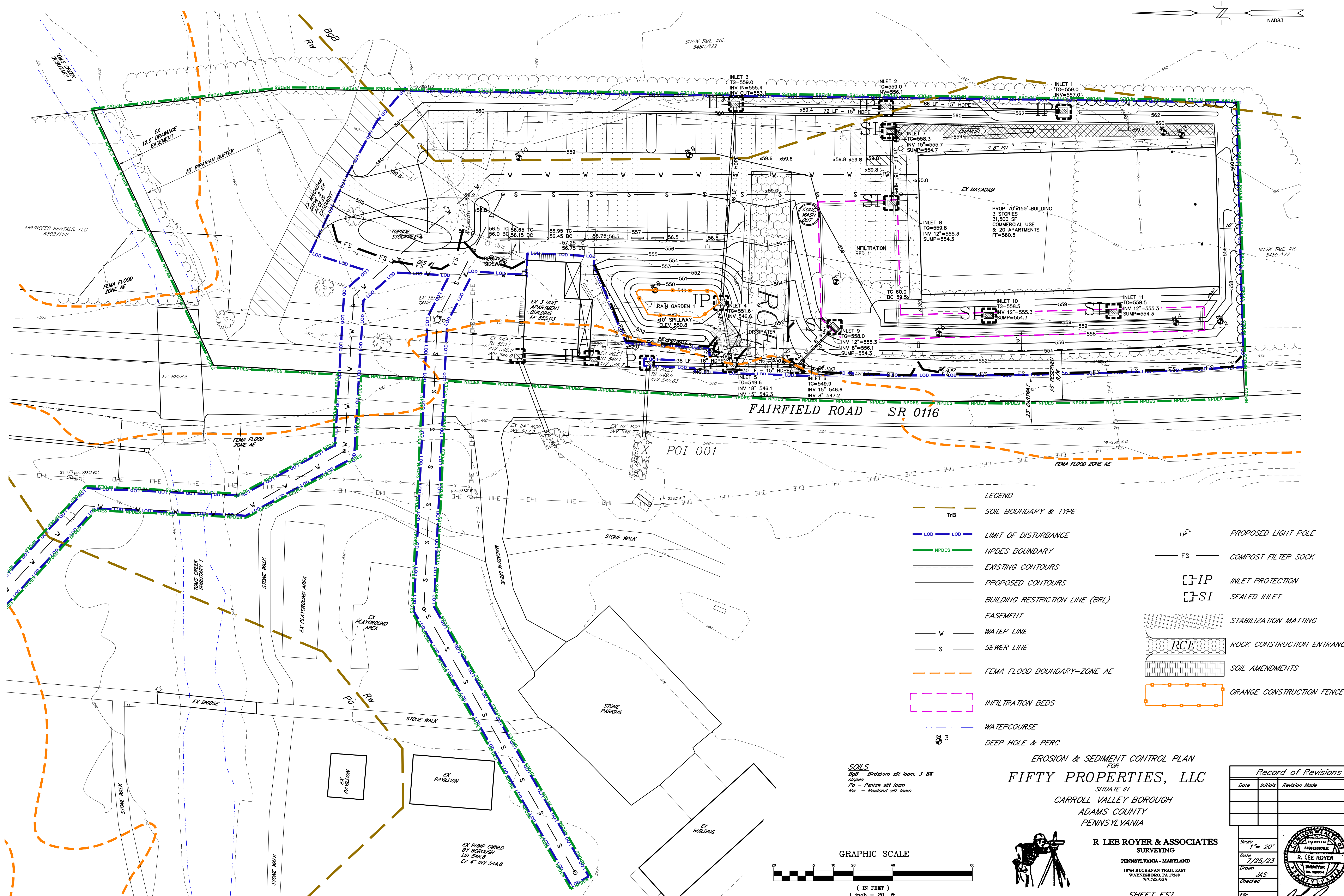
  

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Date	7/25/23
Drawn	JAS
Checked	
File	8701



SHEET EX1

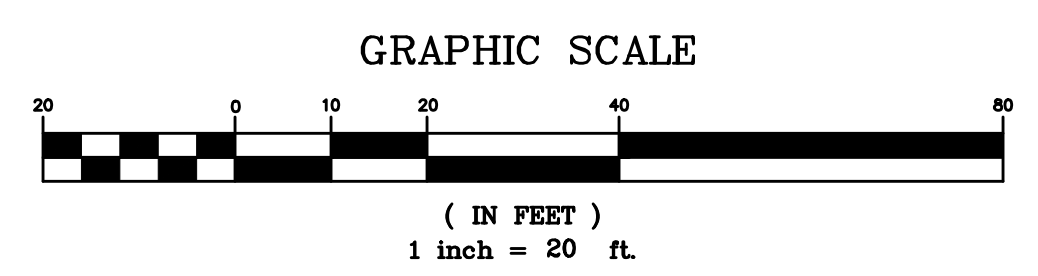




**LEGEND**

	SOIL BOUNDARY & TYPE		PROPOSED LIGHT POLE
	LIMIT OF DISTURBANCE		COMPOST FILTER SOCK
	NPDES BOUNDARY		INLET PROTECTION
	EXISTING CONTOURS		SEALED INLET
	PROPOSED CONTOURS		STABILIZATION MATTING
	BUILDING RESTRICTION LINE (BRL)		ROCK CONSTRUCTION ENTRANCE
	EASEMENT		SOIL AMENDMENTS
	WATER LINE		ORANGE CONSTRUCTION FENCE
	SEWER LINE		INFILTRATION BEDS
	FEMA FLOOD BOUNDARY-ZONE AE		WATERCOURSE
	DEEP HOLE & PERC		

**SOILS**  
 BgB - Birdsboro silt loam, 3-8% slopes  
 Pa - Pottsville silt loam  
 Rw - Rowland silt loam



**EROSION & SEDIMENT CONTROL PLAN**  
 FOR  
**FIFTY PROPERTIES, LLC**  
 SITUATE IN  
 CARROLL VALLEY BOROUGH  
 ADAMS COUNTY  
 PENNSYLVANIA



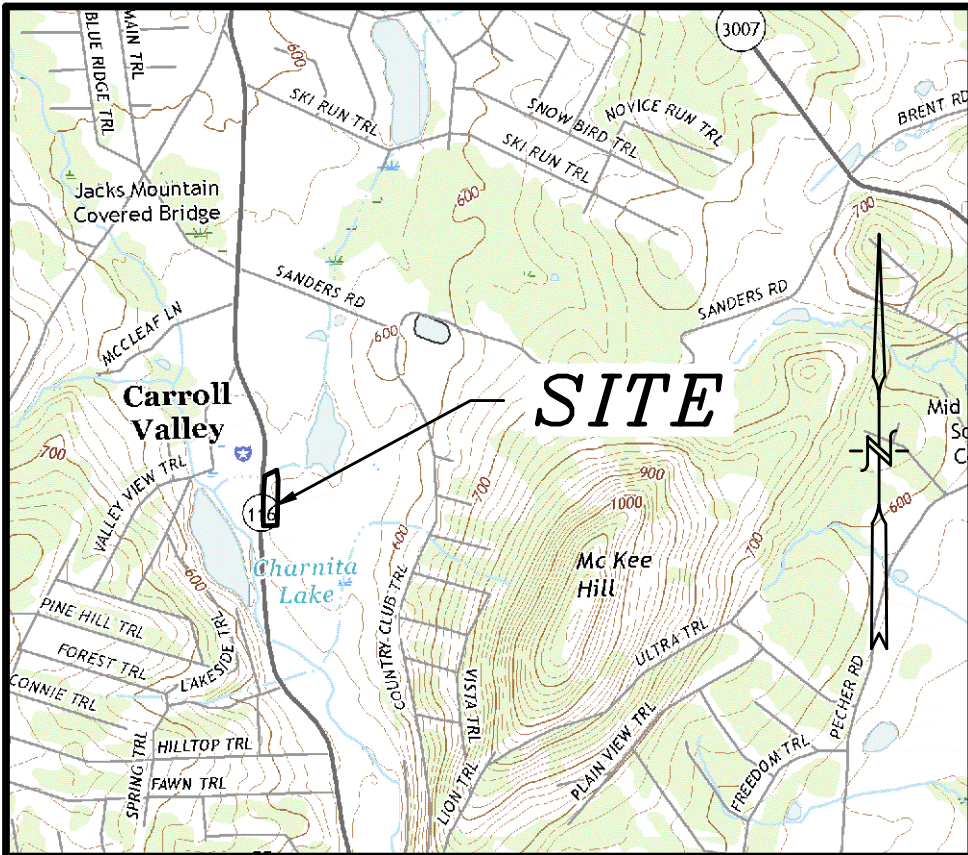
**R LEE ROYER & ASSOCIATES**  
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 WAYNESBORO, PA 17268  
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Record of Revisions		
Date	Initials	Revision Made

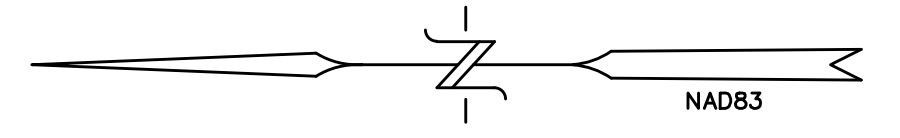
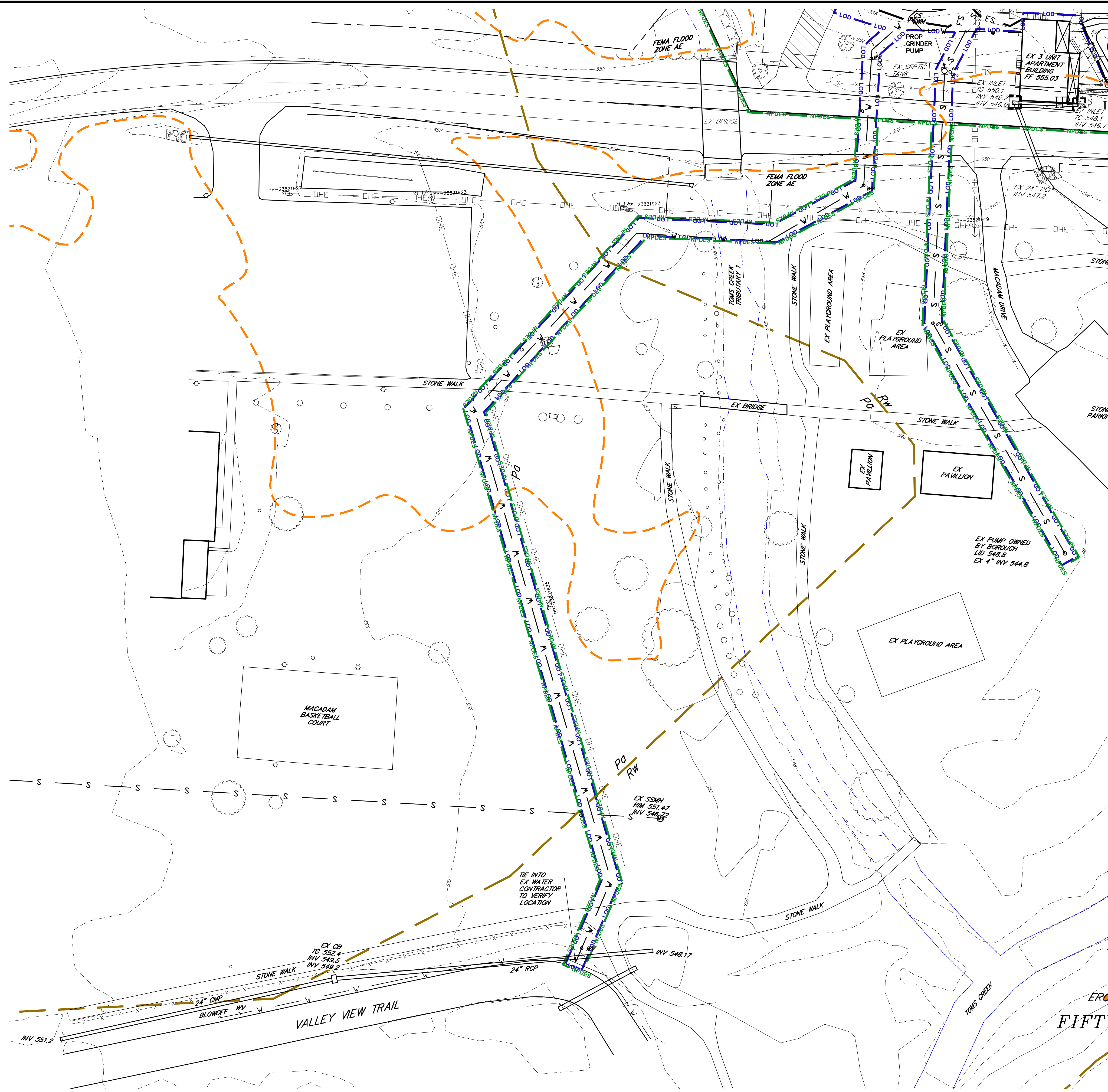
  

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Date	7/25/23
Drawn	JAS
Checked	
File	8701





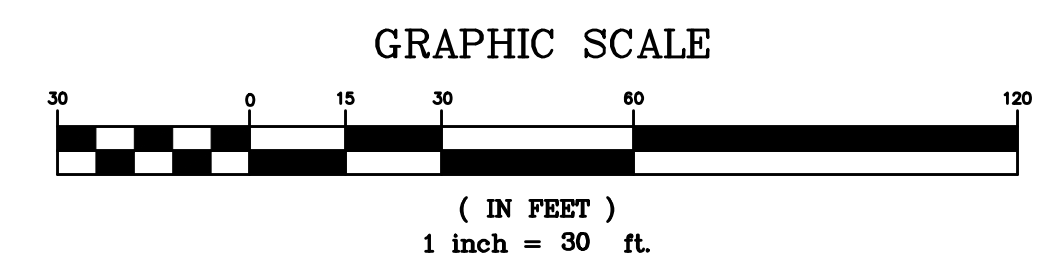
LOCATION MAP 1"=2000'  
IRON SPRINGS QUAD



- LEGEND**
- TrB SOIL BOUNDARY & TYPE
  - LOD LIMIT OF DISTURBANCE
  - NPDES NPDES BOUNDARY
  - EXISTING CONTOURS
  - PROPOSED CONTOURS
  - BUILDING RESTRICTION LINE (BRL)
  - EASEMENT
  - WATER LINE
  - SEWER LINE
  - FEMA FLOOD BOUNDARY-ZONE AE
  - INFILTRATION BEDS
  - WATERCOURSE
  - DEEP HOLE & PERC
  - PROPOSED LIGHT POLE
  - COMPOST FILTER SOCK
  - INLET PROTECTION
  - SEALED INLET
  - STABILIZATION MATTING
  - ROCK CONSTRUCTION ENTRANCE
  - SOIL AMENDMENTS
  - ORANGE CONSTRUCTION FENCE

**SOILS**  
 BxH - Birdsboro silt loam, 3-8% slopes  
 Pa - Panlaw silt loam  
 Rw - Rowland silt loam

**EROSION & SEDIMENT CONTROL PLAN**  
 FOR  
**FIFTY PROPERTIES, LLC**  
 SITUATE IN  
 CARROLL VALLEY BOROUGH  
 ADAMS COUNTY  
 PENNSYLVANIA

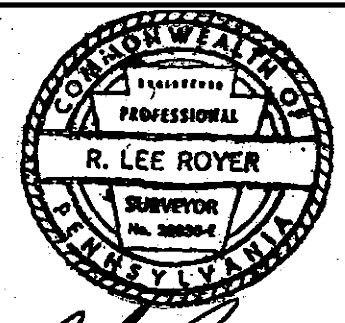


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Record of Revisions		
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Scale	1" = 30'
Date	7/25/23
Drawn	JAS
Checked	
File	8701

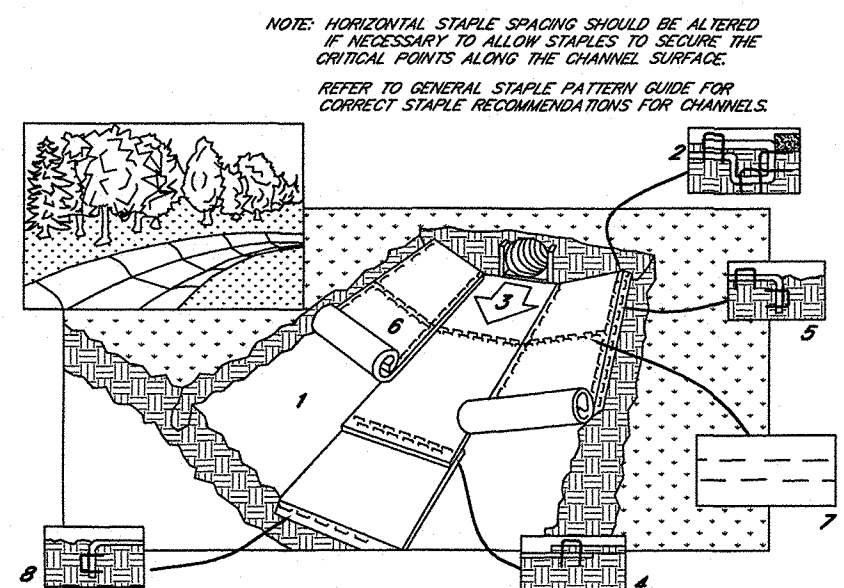


SHEET ES2



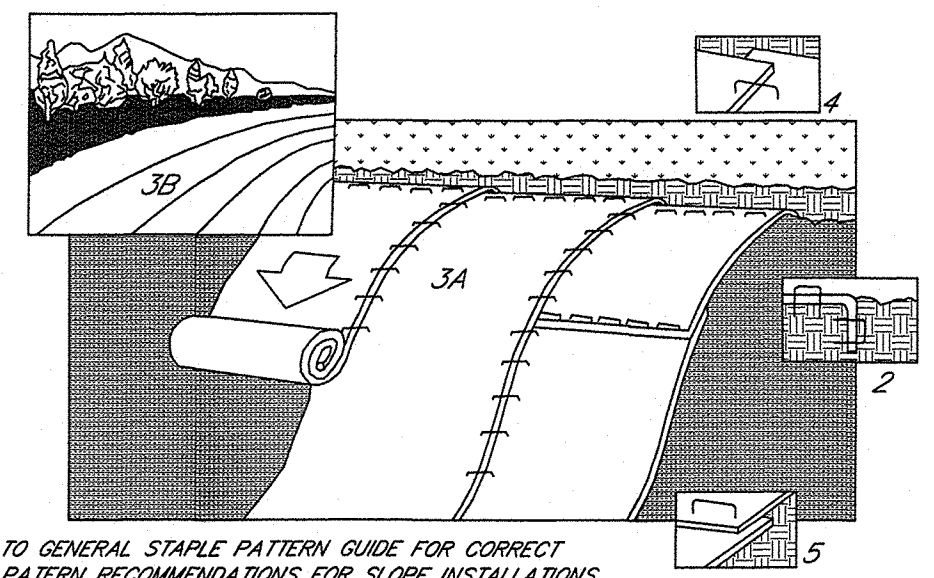






1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIM, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW ON BOTTOM OF CHANNEL.
4. PLACE BLANKETS END OVER END CHANNEL SIDES WITH A 6" OVERLAP. USE A DOUBLE ROW OF STAGGERED STAPLES 4" APART TO SECURE BLANKETS.
5. FULL LENGTH OF SIDES OF BLANKETS MUST BE ANCHORED IN 6" DEEPS X 4" WIDE TRENCH SIDELAP AND COMPACT THE TRENCH AFTER STAPLING.
6. BLANKETS ON SIDE SLOPES MUST BE OVERLAPPED 4" OVER THE CENTER BLANKET AND STAPLED (2" FOR 350 MATTING).
7. IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A ROW OF STAPLES 4" APART OVER ENTIRE WIDTH OF THE CHANNEL. PLACE A SECOND ROW 4" BELOW THE FIRST ROW IN A STAGGERED PATTERN.
8. THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

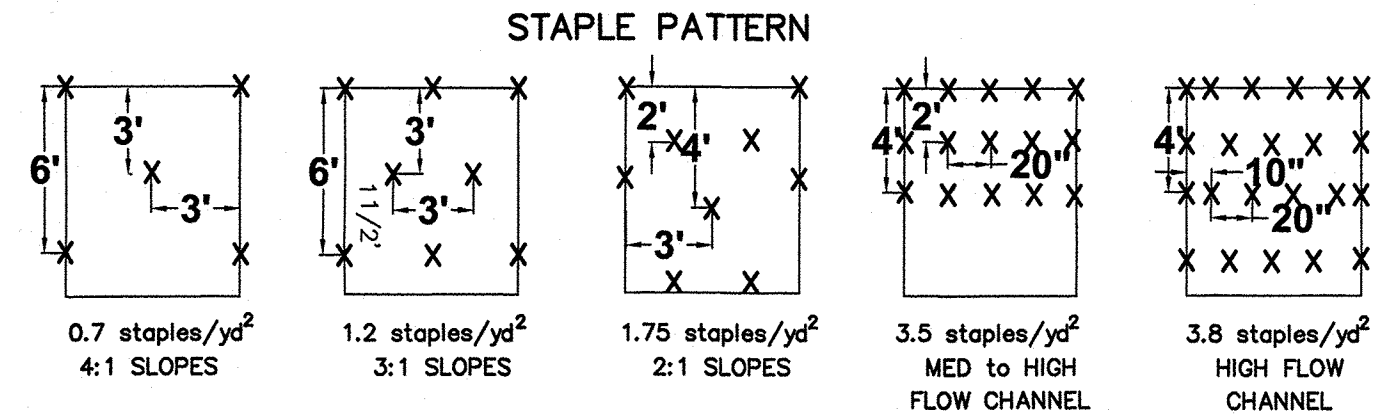
**CHANNEL INSTALLATION**



NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIM, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.

**SLOPE INSTALLATION  
JUTE NET ON ALL SLOPES 3:1 OR GREATER**



**CHANNEL and/or TRAPS/BASIN NOTES**

All channels shall be kept free of obstructions including but not limit to fill, rocks, leaves, woody debris, accumulated sediment, excess vegetation, and construction material/wastes.

Vegetated channels shall be constructed free of rocks, tree roots, stumps or other projections that will impede normal channel flow and/or prevent good lining topsoil contact. The channel shall be initially over-excavated to allow for the placement of topsoil.

Underground utilities cutting through any active channel or basin shall be immediately backfilled and restored to its original cross-section and protective lining installed. Any base flow within a channel shall be conveyed past the work area in the manner described in the plans until such restoration is complete.

Channels using riprap, Reno mattress, or gabion linings must be sufficiently over-excavated so that the design dimension will be provided after placement of the protective lining.

Sediment basins/traps shall be kept free of all trash, concrete wash water and other debris that pose the potential for clogging of the basin/trap outlet structures and/or pose the potential for pollution to waters of the Commonwealth. When sediment has accumulated to the clean out elevation on any stake, all accumulate sediment shall be removed from the entire trap/basin bottom and properly disposed of.

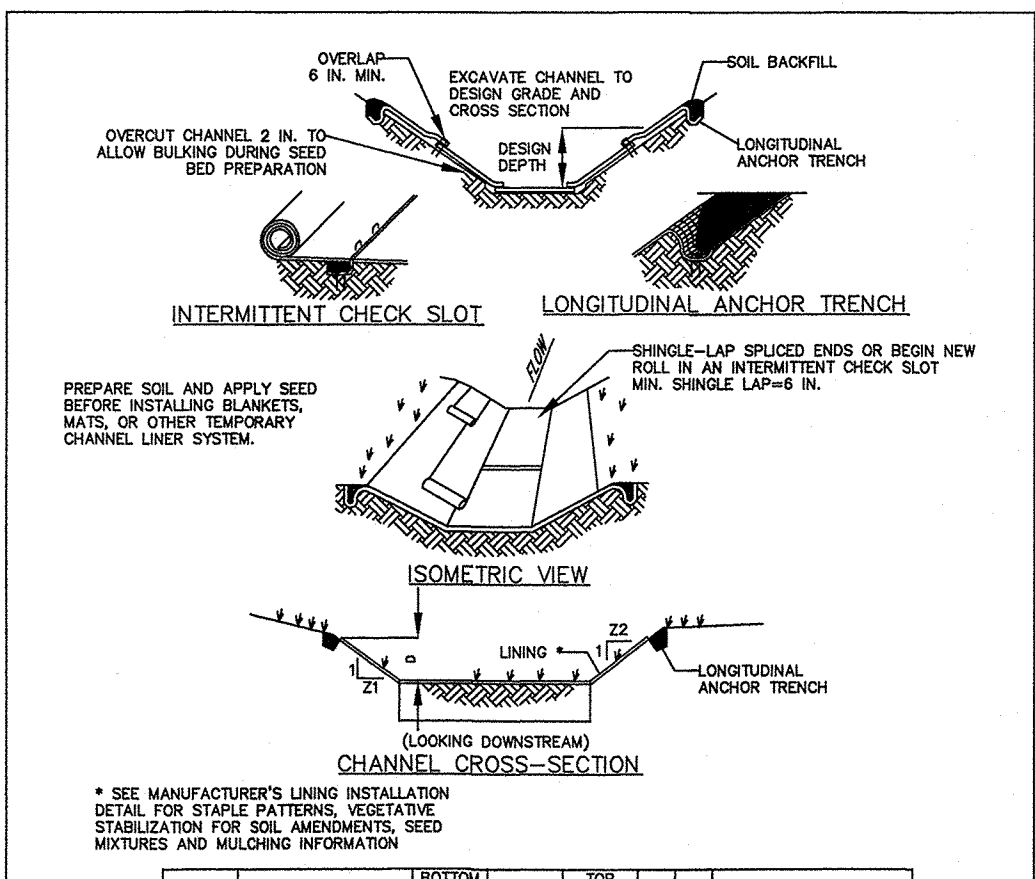
Approval of the use of a skimmer does not approve use of any skimmer in violation of any patent, patent rights, and/or patent laws.

If any springs are encountered in the basin bottom or foundation area of the basin embankment contact Franklin County Conservation and/or the municipality immediately before draining spring to the outside/downstream toes of the embankment with a drain section 2 feet by 2 feet in dimension consisting of Penn DOT type A sand, compacted by hand tamper. No geotextiles are to be used around the sand. The last three feet of the drain at the outside/downstream slope should be constructed with AASHTO#8 material.

Sediment basin must be protected from unauthorized acts of third parties.

Upon request, the applicant or their contractor shall provide an as-built (record drawing) for any sediment basin or trap to the municipal inspector, Franklin County Conservation District or DEP.

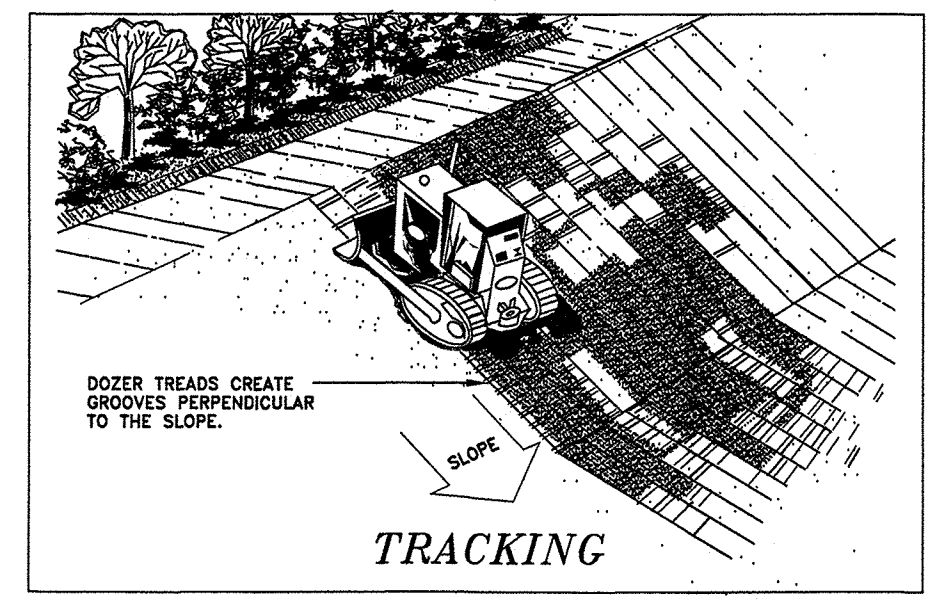
Any damage that occurs in whole or in part as a result of basin or trap discharge shall be immediately repaired by the permittee/contractor/operator in a permanent manner satisfactory to the municipality, Franklin County Conservation District and the owner of the damage property.



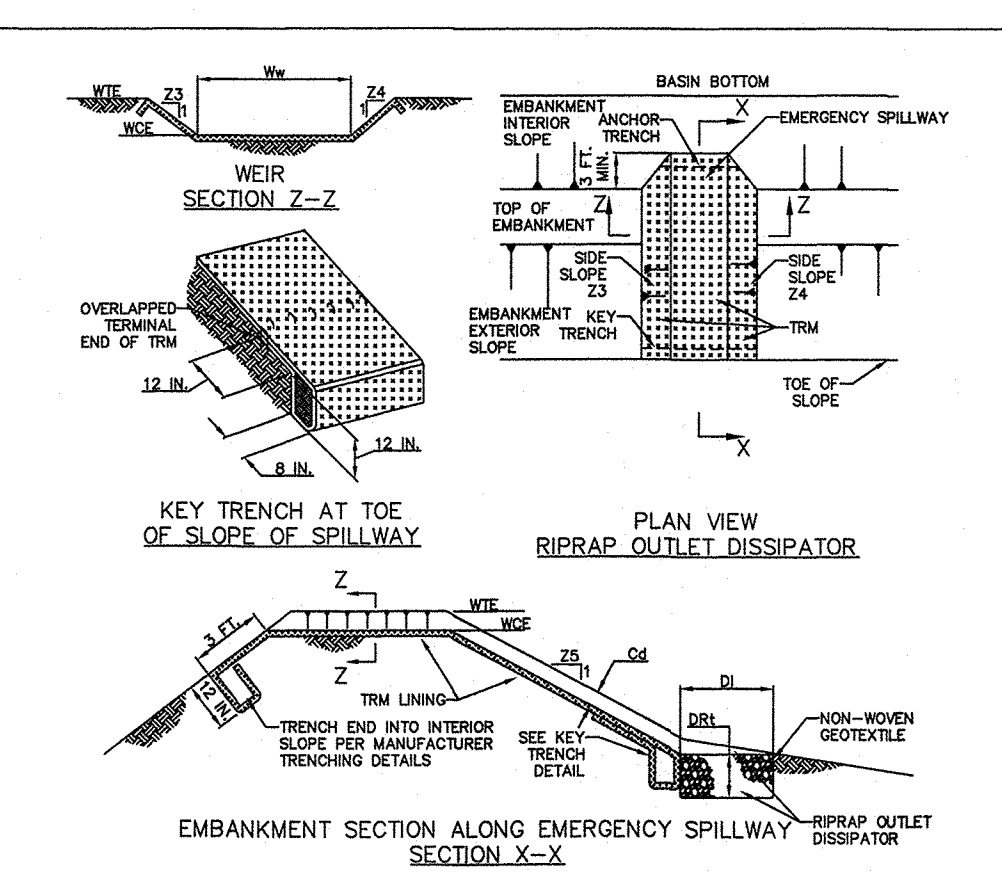
CHANNEL NO.	STATIONS	BOTTOM WIDTH (FT)	DEPTH (FT)	TOP WIDTH (FT)	Z1 (FT)	Z2 (FT)	LINING *
1	ALL				3	3	EGC-1

NOTES:  
ANCHOR TRENCHES SHALL BE INSTALLED AT BEGINNING AND END OF CHANNEL IN THE SAME MANNER AS LONGITUDINAL ANCHOR TRENCHES.  
CHANNELS SHALL BE INSPECTED AFTER EACH RAIN EVENT GREATER THAN 0.25 INCH.  
CHANNEL DIMENSIONS SHALL BE CONSTANTLY MAINTAINED. CHANNEL SHALL BE CLEANED WHENEVER TOTAL CHANNEL DEPTH IS REDUCED BY 50% AT ANY LOCATION.  
SEDIMENT DEPOSITS SHALL BE REMOVED WITHIN 24 HOURS OF DISCOVERY OR AS SOON AS SOIL CONDITIONS PERMIT ACCESS TO CHANNEL WITHOUT FURTHER DAMAGE. DAMAGED LINING SHALL BE REPAIRED OR REPLACED WITHIN 48 HOURS OF DISCOVERY.  
NO MORE THAN ONE THIRD OF THE SHOOT (GRASS LEAF) SHALL BE REMOVED IN ANY MORNING. GRASS HEIGHT SHALL BE MAINTAINED BETWEEN 2 AND 3 INCHES UNLESS OTHERWISE SPECIFIED. EXCESS VEGETATION SHALL BE REMOVED FROM PERMANENT CHANNELS TO ENSURE SUFFICIENT CHANNEL CAPACITY.

**STANDARD CONSTRUCTION DETAIL #6-1  
VEGETATED CHANNEL**



**TRACKING**

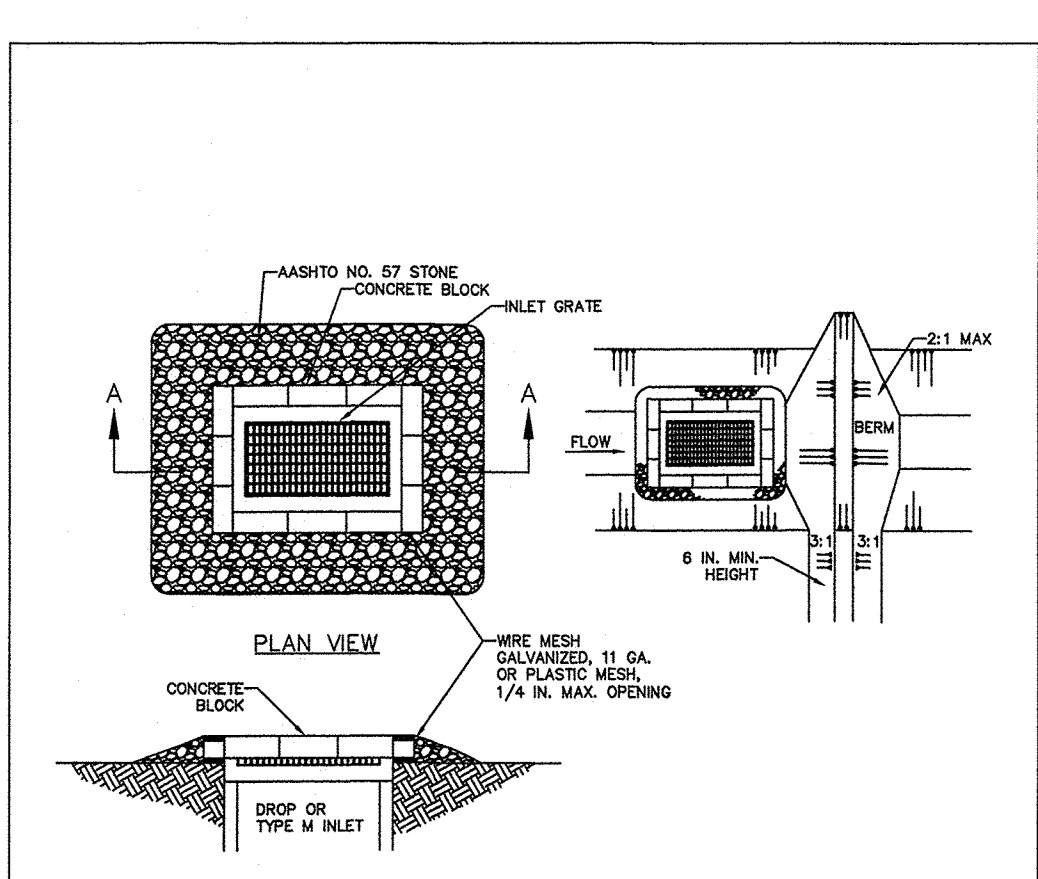


BASIN NO.	Z1 (FT)	Z2 (FT)	TOP CREST ELEV (FT)	WIDTH W (FT)	DEPTH D (FT)	LENGTH L (FT)	DISSIPATOR	TRAP
1	3	3	852.0	850.8	10	820-8.10m	E 3	0.5

MAINTENANCE NOTES:  
HEAVY EQUIPMENT SHALL NOT CROSS OVER SPILLWAY WITHOUT PRECAUTIONS TAKEN TO PROTECT TRM LINING. DISPLACED LINER WITHIN THE SPILLWAY AND/OR OUTLET CHANNEL SHALL BE REPLACED IMMEDIATELY. RIPRAP AT TOE OF EMBANKMENT SHALL BE EXTENDED A SUFFICIENT LENGTH IN BOTH DIRECTIONS TO PREVENT SCOUR. THE USE OF BATTERIES THAT REQUIRE SUPPORT POSTS ARE RESTRICTED FROM USE IN BASINS REQUIRING IMPERVIOUS LINERS. INSPECT EVERY THREE MONTHS AND AFTER EACH MEASURABLE RAIN EVENT GREATER THAN 0.25".

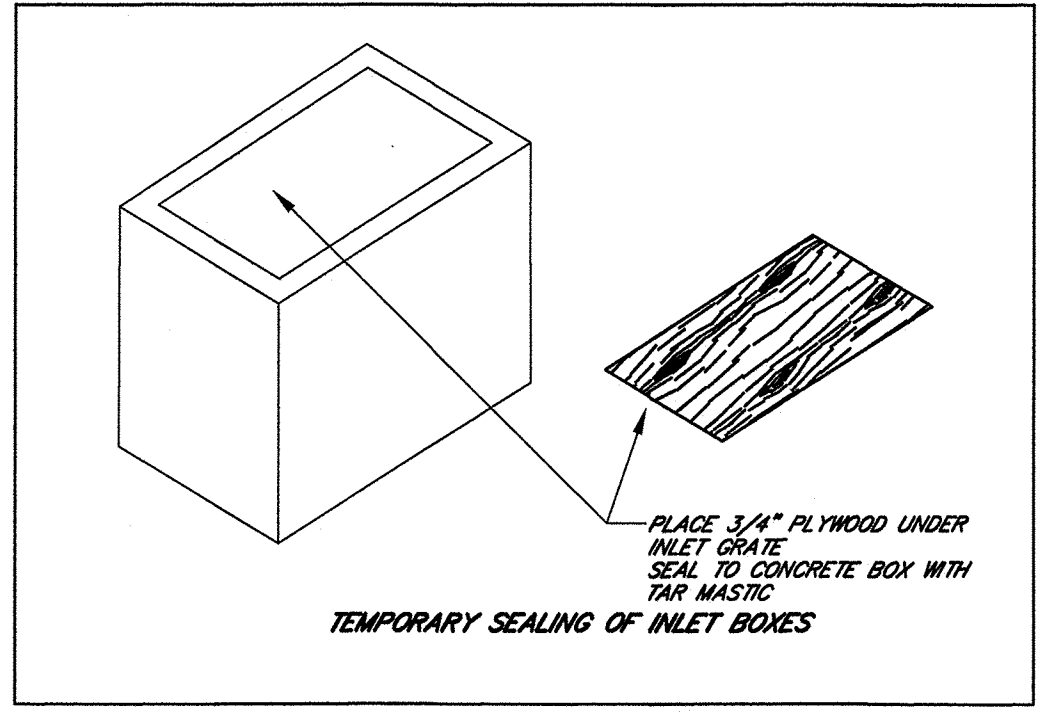
**STANDARD CONSTRUCTION DETAIL #7-13  
EMERGENCY SPILLWAY WITH TRM LINING**

NOT TO SCALE

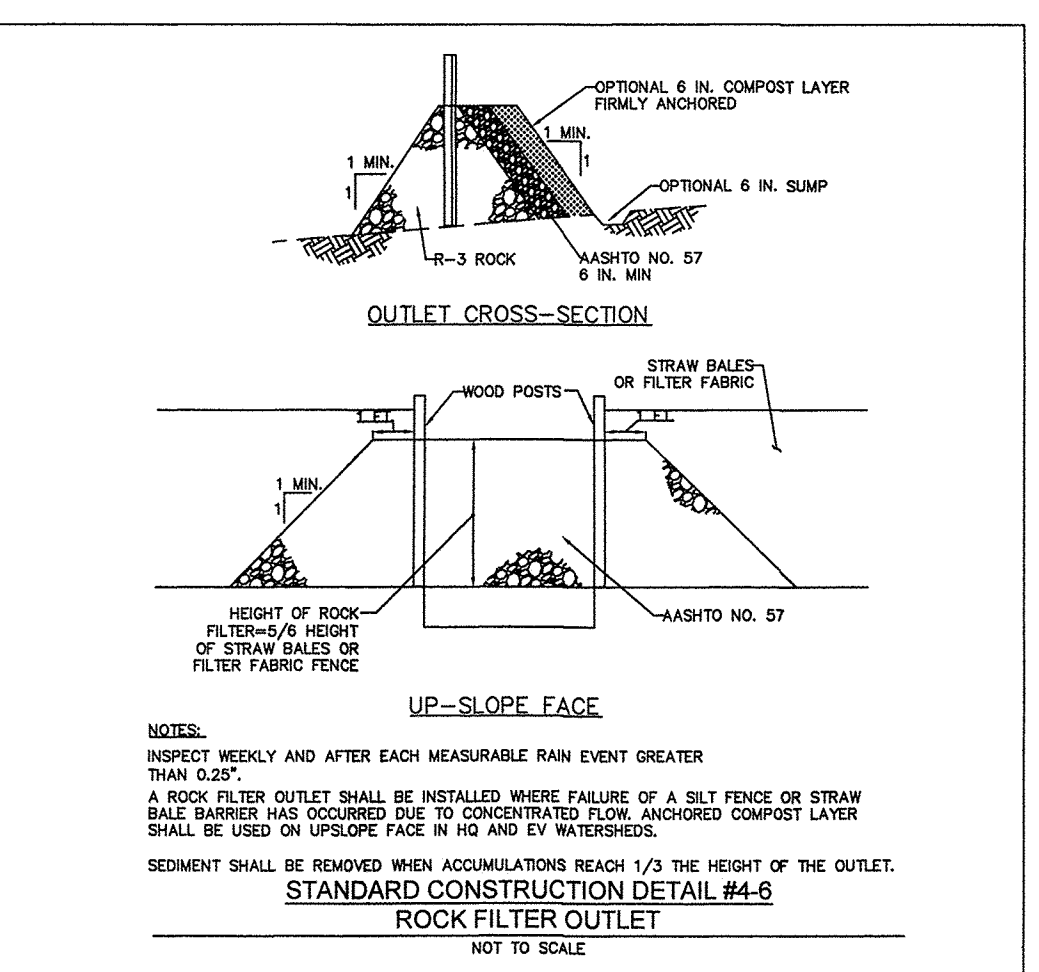


NOTES:  
INSPECT WEEKLY AND AFTER EACH MEASURABLE RAIN EVENT GREATER THAN 0.25". MAXIMUM ORANGE AREA = 1% AGE. INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS NOT LOCATED AT A LOW POINT.

RIPRAP EMBANKMENT IN ROADWAY SHALL BE PROVIDED AND MAINTAINED IMMEDIATELY DOWN GRADIENT OF THE PROTECTED INLET UNTIL ROADWAY IS STONED. ROAD SUBGRADE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. ENTIRE BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR TO REMAIN PERMANENTLY.  
TOP OF BLOCK SHALL BE AT LEAST 6 INCHES BELOW ADJACENT ROADS IF PONDED WATER WOULD POSE A SAFETY HAZARD TO TRAFFIC.  
SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE HEIGHT OF THE STONE. DAMAGED OR CLOGGED INSTALLATIONS SHALL BE REPAIRED OR REPLACED IMMEDIATELY.  
FOR SYSTEMS DISCHARGING TO HG OR EV SURFACE WATER, A 6 INCH THICK COMPOST LAYER SHALL BE SECURELY ANCHORED ON OUTSIDE AND OVER TOP OF STONE. COMPOST SHALL MEET THE STANDARDS IN TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.  
**STANDARD CONSTRUCTION DETAIL #4-18  
STONE AND CONCRETE BLOCK INLET PROTECTION - TYPE M INLET**  
NOT TO SCALE



**TEMPORARY SEALING OF INLET BOXES**



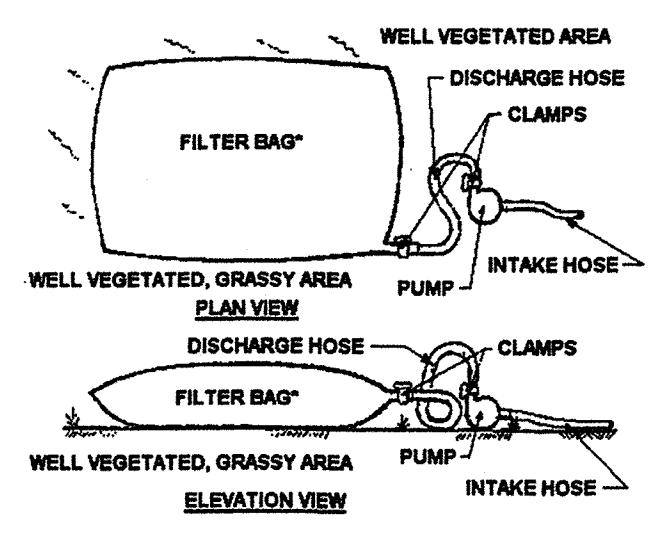
NOTES:  
INSPECT WEEKLY AND AFTER EACH MEASURABLE RAIN EVENT GREATER THAN 0.25". A ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF A SILT FENCE OR STRAW BALE BARRIER HAS OCCURRED DUE TO CONCENTRATED FLOW. ANCHORED COMPOST LAYER SHALL BE USED ON UPSLOPE FACE IN HG AND EV WATERSHEDS. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.

**PUMPED WATER FILTER BAGS** - Filter bags may be used to filter water pumped from disturbed areas prior to discharging to waters of the Commonwealth. They may also be used to filter water pumped from the sediment storage areas of sediment basins.

The pumping rate should be specified on the plan drawings next to the typical detail. Pumping rates will vary depending on the size of the filter bag, and the type and amount of sediment discharged to the bag.

Filter bags should be installed according to the details shown in Standard Construction Detail #28.

**STANDARD CONSTRUCTION DETAIL #28  
Pumped Water Filter Bag**



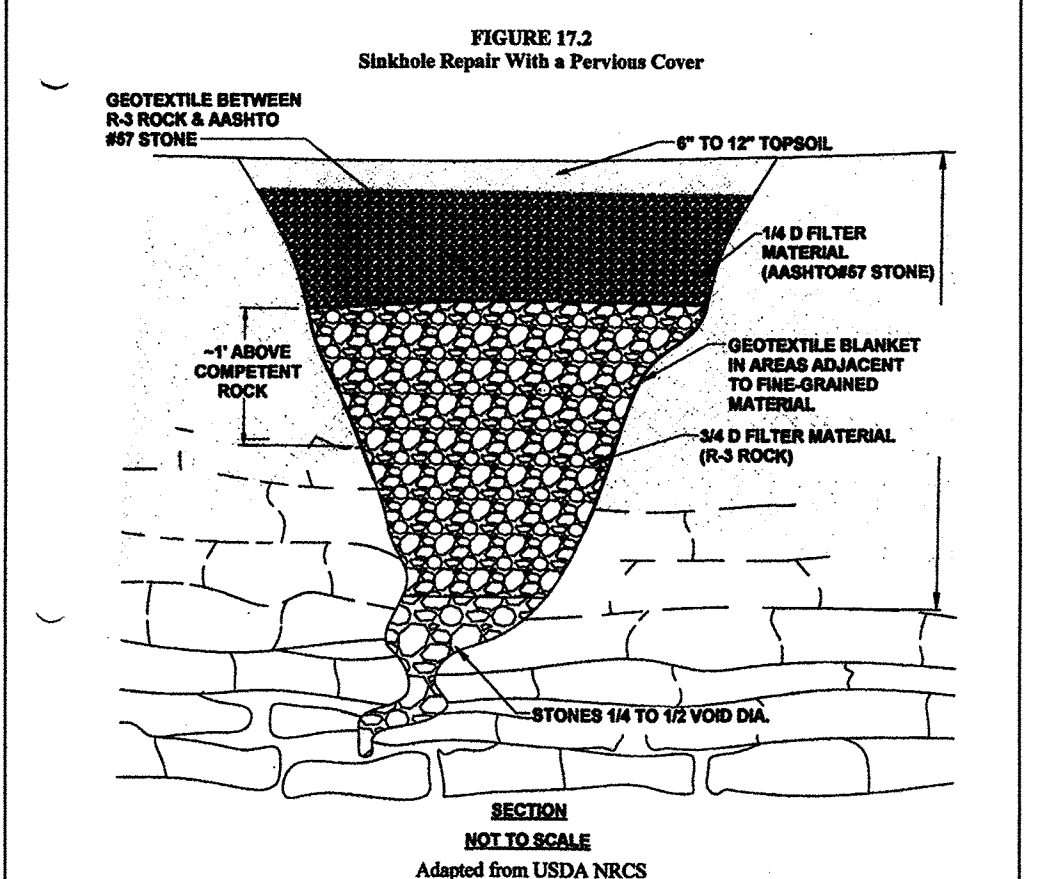
Filter bags shall be made from non-woven geotextile material sewn with high strength, double stitched "J" type seams. They shall be capable of trapping particles larger than 150 microns.

A suitable means of securing the bag with machinery required for disposal purposes must be provided. Filter bags shall be replaced when they become 1/2 full. Spare bags shall be kept available for replacement of those that have failed or are full.

Bags shall be located in well-vegetated (grass) area, and discharge onto stable, erosion resistant areas. Where this is not possible, a geotextile flow path shall be provided. Bags shall not be placed on slopes greater than 5%.

The pump discharge hose shall be inserted into the bags in the manner specified by the manufacturer and securely clamped.

The pumping rate shall be no greater than 750 gpm or 1/4 the maximum specified by the manufacturer, whichever is less. Pump intakes should be floating and screened.



Excavate loose material from the skelbake and expose solution void(s) if possible. Enlarge skelbake if necessary to allow for installation of filter materials. OSHA regulations must be followed at all times during excavation.

Stones used for the "bridge" and filters shall have a moderately hard rock strength and be resistant to abrasion and degradation. Shale and similar soft and/or non-durable rock are not acceptable.

Record of Revisions		
Date	Initials	Revision Made

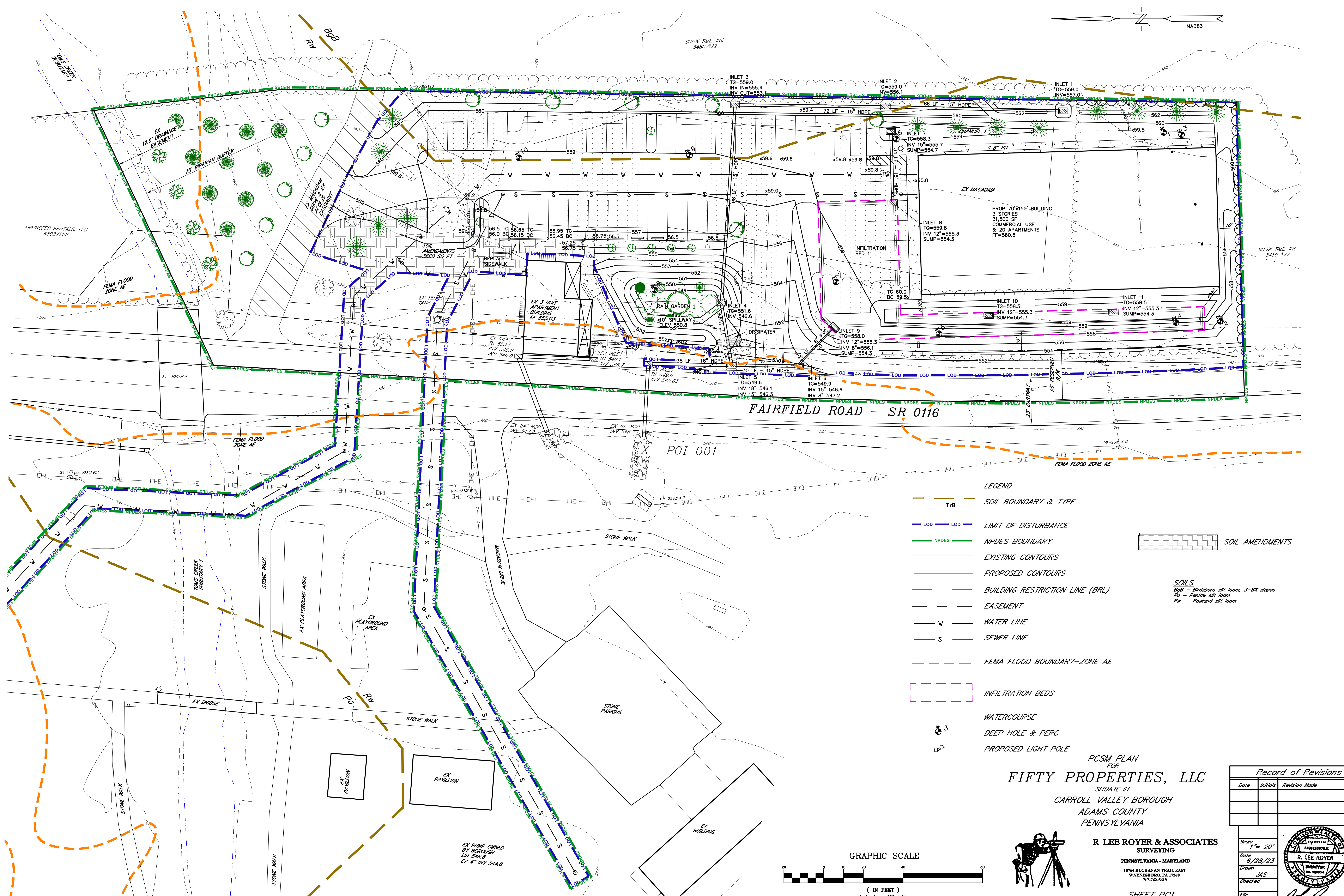
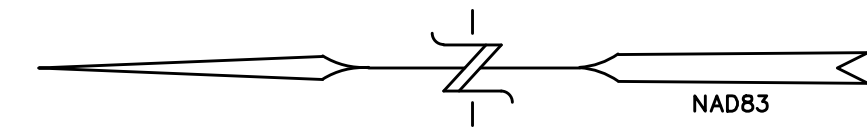
**EROSION & SEDIMENT CONTROL DETAILS FOR FIFTY PROPERTIES, LLC**  
SITUATE IN CARROLL VALLEY BOROUGH ADAMS COUNTY PENNSYLVANIA



**R LEE ROYER & ASSOCIATES SURVEYING**  
PENNSYLVANIA - MARYLAND  
10764 HUCHANAN TRAIL EAST WAYNESBORO, PA 17268 717-762-5619

Area  
Scale  
Date 1/25/23  
Drawn JAS  
Checked  
File 8701





- LEGEND**
- TrB SOIL BOUNDARY & TYPE
  - LOD LIMIT OF DISTURBANCE
  - NPDES NPDES BOUNDARY
  - EXISTING CONTOURS
  - PROPOSED CONTOURS
  - BUILDING RESTRICTION LINE (BRL)
  - EASEMENT
  - WATER LINE
  - SEWER LINE
  - FEMA FLOOD BOUNDARY-ZONE AE
  - INFILTRATION BEDS
  - WATERCOURSE
  - DEEP HOLE & PERC
  - PROPOSED LIGHT POLE
  - SOIL AMENDMENTS
- SOILS**  
 Bys - Birdsboro silt loam, 3-8% slopes  
 Pa - Penaw silt loam  
 Rw - Rowland silt loam

PCSM PLAN FOR  
**FIFTY PROPERTIES, LLC**  
 SITUATE IN  
 CARROLL VALLEY BOROUGH  
 ADAMS COUNTY  
 PENNSYLVANIA

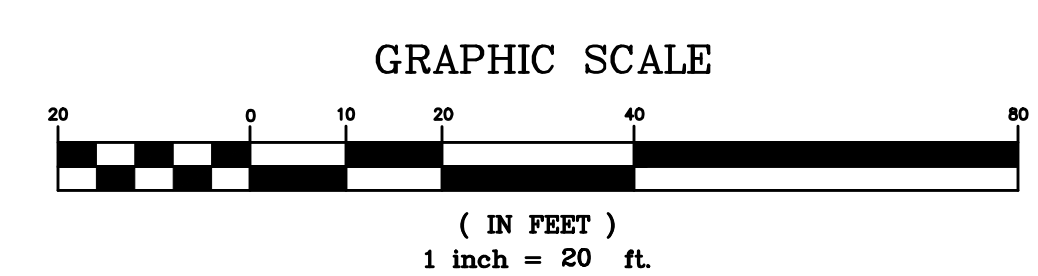


**R LEE ROYER & ASSOCIATES**  
 SURVEYING  
 PENNSYLVANIA - MARYLAND  
 10764 BUCHANAN TRAIL EAST  
 WAYNESBORO, PA 17368  
 717-763-5619

Record of Revisions		
Date	Initials	Revision Made

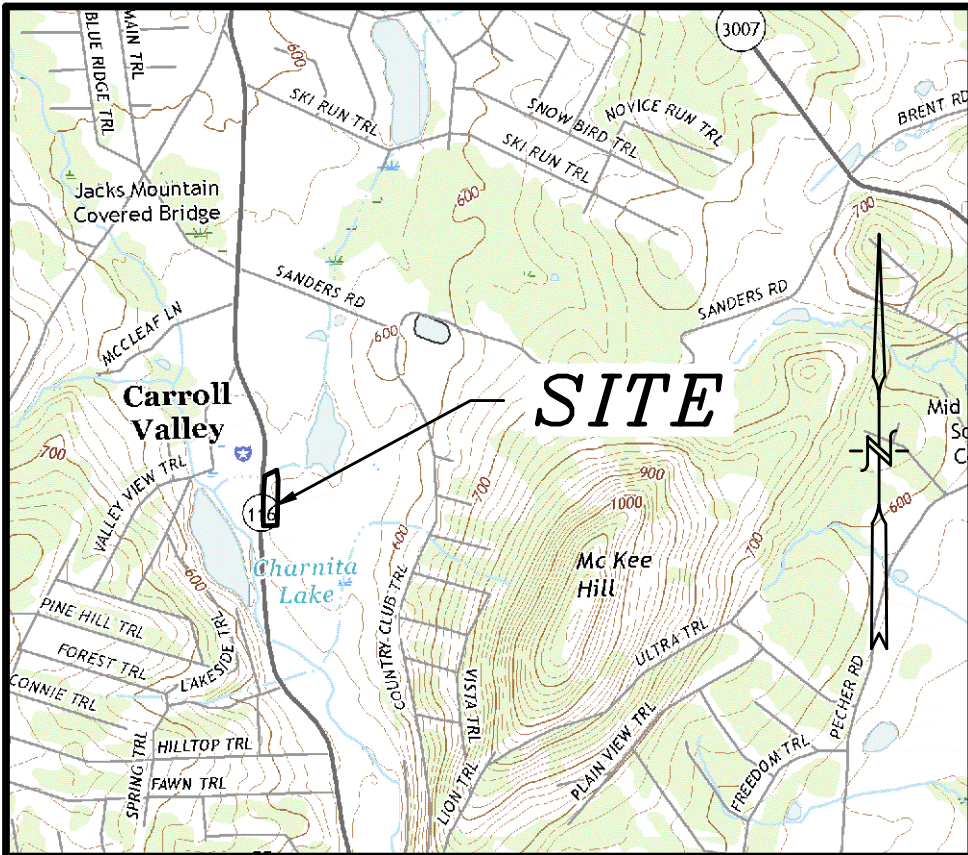
  

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Date	6/28/23
Drawn	JAS
Checked	
File	8701

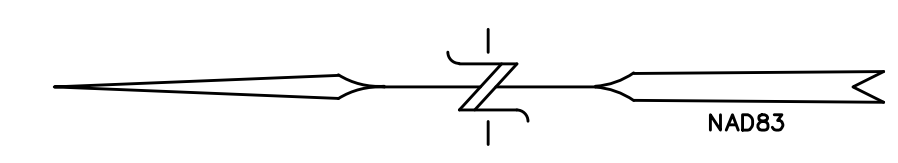
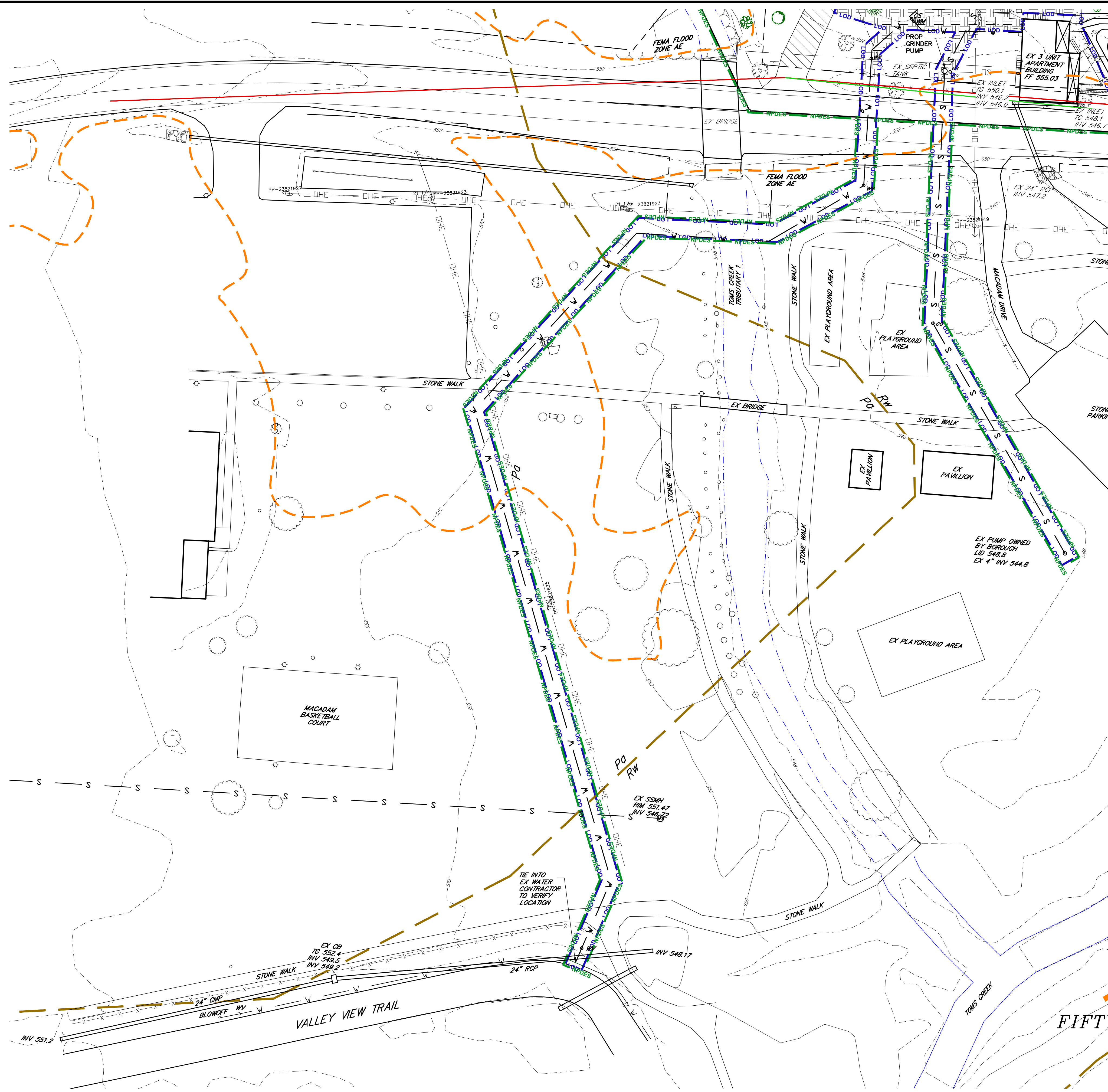


SHEET PC1





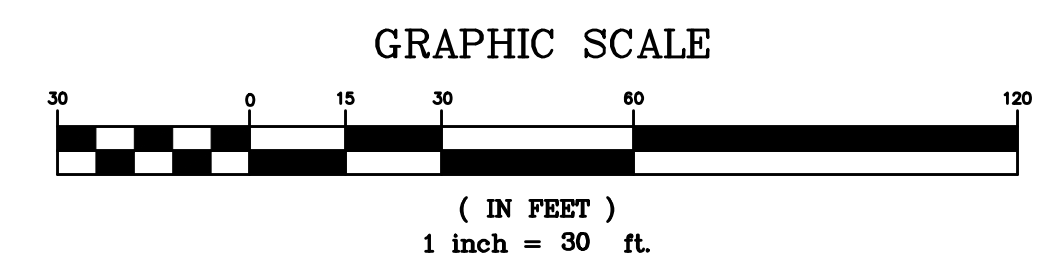
LOCATION MAP 1"=2000'  
IRON SPRINGS QUAD



- LEGEND**
- **SOIL BOUNDARY & TYPE**
  - **LIMIT OF DISTURBANCE**
  - **NPDES BOUNDARY**
  - **EXISTING CONTOURS**
  - **PROPOSED CONTOURS**
  - **BUILDING RESTRICTION LINE (BRL)**
  - **EASEMENT**
  - **WATER LINE**
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  - **FEMA FLOOD BOUNDARY-ZONE AE**
  - INFILTRATION BEDS**
  - **WATERCOURSE**
  - **DEEP HOLE & PERC**
  - **PROPOSED LIGHT POLE**
  - SOIL AMENDMENTS**

**SOILS**  
 BgB - Birdsboro silt loam, 3-8% slopes  
 Po - Pottsville silt loam  
 Rv - Rowland silt loam

PCSM PLAN  
FOR  
**FIFTY PROPERTIES, LLC**  
SITUATE IN  
CARROLL VALLEY BOROUGH  
ADAMS COUNTY  
PENNSYLVANIA



**R LEE ROYER & ASSOCIATES**  
SURVEYING  
PENNSYLVANIA - MARYLAND  
10764 BUCHANAN TRAIL EAST  
WAYNESBORO, PA 17368  
717-763-6619

SHEET PC2

**Record of Revisions**

Date	Initials	Revision Made

Scale 1" = 30'  
 Date 7/25/23  
 Drawn JAS  
 Checked  
 File 8701



**PCSM BMP Wastes**

Wastes related to PCSM BMP repairs such as but not limited to piping material, matting, geotextile, excess stone, etc. shall be removed from the site once the repairs are completed. The materials shall be taken to facilities that are approved to handle such materials, per the Department's Solid Waste Management Regulations at 25 Pa. Code 260.1 et seq., 271.1., and 287.1 et seq. Where possible the materials shall be recycled at appropriate facilities.

PCSM wastes resulting from regular maintenance including but not limited to grass clippings, sediment, etc. shall be removed from the site and disposed of at the proper recycling, composting, or waste facility for the material. All grass clippings shall be removed from the PCSM facilities.

**PCSM reporting and recordkeeping**

PCSM Plans, inspection reports, and monitoring records shall be available on site for review by the Department or the Conservation District. Inspection reports shall detail the installation procedure and certify that the BMP was installed according to the approved plans. Inspection reports must be signed by the inspector at the time of inspection or they will be void and the developer and/or the developer's contractor will assume all responsibility for the installation and performance of the BMPs. BMP installation work shall not proceed until inspector is on site, municipality and/or Franklin County Conservation District.

**PCSM Requirements**

Licensed professional oversight of critical stages. A license professional or a designee and an Antrim Township inspector shall be present onsite and be responsible during the critical stage of implementation of the approved PCSM BMPs (this includes if an E&S BMPs that will be converted to PCSM BMPs). The critical stage may include the installation of underground treatment or storage BMPs, structurally engineered BMPs, or other BMPs as deemed appropriate by DEP or Franklin County Conservation District.

A **Critical Stage** is defined as: structurally engineered BMPs, underground BMPs, and other BMPs as deemed appropriate by the Department or authorized conservation district.

**Final certification**

The permittee shall include with the notice of termination "Record Drawings" with a final certification statement from a licensed professional, which reads as follows:

"I (name) do hereby certify pursuant to the penalties of 18 Pa. C.S.A. § 4904 to the best of my knowledge, information and belief, that the accompany record drawing accurately reflect the as-built conditions, are true and correct, and are in conformance with Chapter 102 of the rules and regulation of the Department of Environmental Protection and that the project site was constructed in accordance with the approved PCSM Plan, all approved plan changes and accepted construction practices."

- The permittee shall retain a copy of the record drawings as a part of the approved PCSM Plan.
- The permittee shall provide a copy of the record drawings as part of the approved PCSM Plan to the person identified as being responsible for the long-term operation and maintenance of the PCSM BMPs.

**PCSM Long Term Operations and Maintenance Requirements**

Until the permittee or co-permittee has received written approval of a notice of termination (NOT), the permittee or co-permittee will remain responsible for compliance with the permit terms and conditions including long-term operation and maintenance of all PCSM BMPs on the project site and is responsible for violations occurring on the project site. The Department or conservation district will conduct a final inspection and approve or deny the notice of termination within 30 days.

The permittee or co-permittee shall be responsible for long-term operation and maintenance of PCSM BMPs unless a different person is identified in the notice of termination and has agreed to long-term operation and maintenance of PCSM BMPs.

For any property containing a PCSM BMP, the permittee or co-permittee shall record an instrument with the recorder of deeds which will assure disclosure of the PCSM BMP and the related obligations in the ordinary course of a title search of the subject property. The recorded instrument must identify the PCSM BMPs, provide for necessary access related to long-term operation and maintenance for PCSM BMPs and provide notice that the responsibility for long-term operation and maintenance of the PCSM BMP is a covenant that runs with the land that is binding upon and enforceable by subsequent grantees, and provide proof of filing with the notice of termination under §102.7(b)(5) relating to permit termination.

The person responsible for performing long-term operation and maintenance may enter into an agreement with another person including a nonprofit organization, municipality, authority, private corporation or other person, to transfer the responsibility for the PCSM BMPs or to perform long-term operation and maintenance and provide notice thereof to the Department.

A permittee or co-permittee that fails to transfer long-term operation and maintenance of the PCSM BMP or otherwise fails to comply with this requirement shall remain jointly and severally responsible with the landowner for long-term operation and maintenance of the PCSM BMPs located on the property.

**Permit Termination**

Upon permanent stabilization of the earth disturbance activity under § 102.22(a)(2) (relating to permanent stabilization), and installation of BMPs in accordance with an approved plan prepared and implemented in accordance with § 102.4 and 102.8 (relating to erosion and sediment control requirements; and PCSM requirements), the permittee or co-permittee shall submit a notice of termination to the Department or Franklin County Conservation District.

The notice of termination must include:

- The facility name, address and location
- The operator name and address.
- The permit number.
- The reason for permit termination.
- Identification of the persons who have agreed to and will be responsible for long-term operation and maintenance of the PCSM BMPs in accordance with § 102.8(m) and proof of compliance with § 102.8(n)(2).

**Seeding and Mulching Schedules:**

**Permanent Seeding Schedule** - Seeding of the disturbed areas shall take place immediately upon the completion of final grading activities. These notes apply to graded or cleared areas, not subject to immediate or further disturbance, where a permanent long-lived vegetative cover is needed.

**Seedbed Preparation:** Loosen upper three inches of soil by raking, disking, or other acceptable means before seeding. Perform all operations at right angles to the slope.

**Top Soil Replacement:** 6 inches on areas to be vegetated. A minimum of 4-6 inches on steep slopes (3:1 or greater) Slopes 2:1 or greater shall have stabilization matting installed.

**Soil Amendments:** It is recommended that site specific soil testing be performed. In lieu of soil test recommendations, use one of the following schedules:

**Preferred** - Apply 6 tons per acre of lime (275 lbs/1000 sf) and 600 lbs/20 fertilizer (15 lbs/1000 sf) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 Ureaform fertilizer (91 lbs/1000 sf)

**Acceptable** - Apply 6 tons per acre of lime (275 lbs/1000 sf) and 100 lbs per acre 10-20-20 fertilizer (23 lbs/1000 sf) before seeding. Harrow or disc into upper three inches of soil.

**Seeding:**

Nurse crop: Annual Ryegrass 10 lbs/acre Pure Live Seed (PLS)

**Seed Mix**

- Tall Fescue 60lb/Acre (76% live seed)
- or Fine Fescue 35lb/Acre
- or Kentucky bluegrass plus 3lb/Acre redtop
- or Perennial ryegrass 15lb/Acre
- or Birdsfoot trefoil plus tall fescue 6lb/Acre plus 30lb/Acre

**Notes:**

All interior slopes of bio-retention area shall be stabilized with matting or sod.

**Mulching Schedule** - Mulch shall be spread on all areas that need stabilization through the winter months (Oct. 15-March 15) including soil stockpiles, elevated sand mounds and other disturbed areas. Mulch shall be applied immediately after seeding or within 48 hours after seeding is completed. Mulch shall consist of straw placed in a continuous uniform blanket at a minimum rate of 6,000 pounds per acre (3 tons per acre). Mulch shall be applied by an acceptable mechanical blower; machines that cut mulch into short pieces shall not be used to apply mulch. A tractor drawn implement may be used to "crimp" the straw into the soil. The machinery should be operated on the contour. Do not crimp straw by running tracked machinery. Anchor mulch with specified mulch binders, containing no solvents or other diluting agents toxic to plant or animal life, at the following rates: Asphalt at a rate of 150 gallons per acre or Cellulose Fiber at a rate of 1000 pounds per acre.

**Summary Table of PCSM BMP's Inspection and Maintenance**

\*\*A written log shall be completed for each inspection. The report shall include the date of inspection, the weather conditions the day of the inspection, the name and title of the inspector, it shall list any deficiencies found, and it shall note the date the deficiencies were repaired. The reports shall be maintained on site and be made available upon request by the County Conservation District, DEP, and the Municipality.\*\*

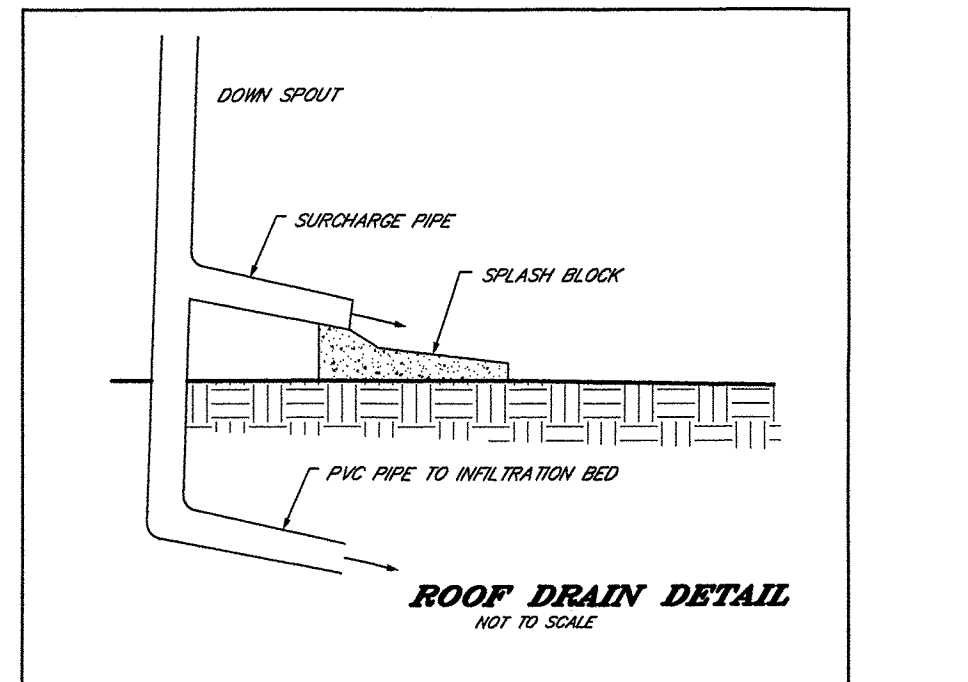
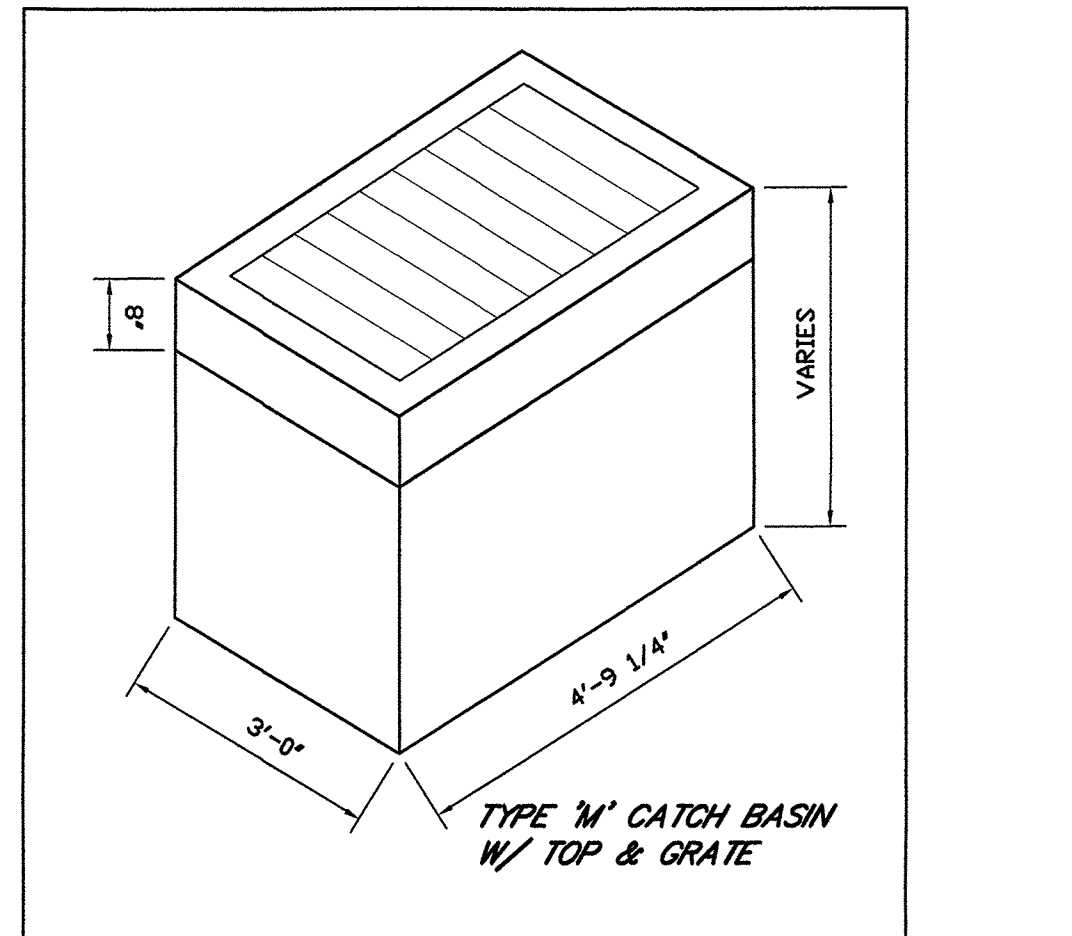
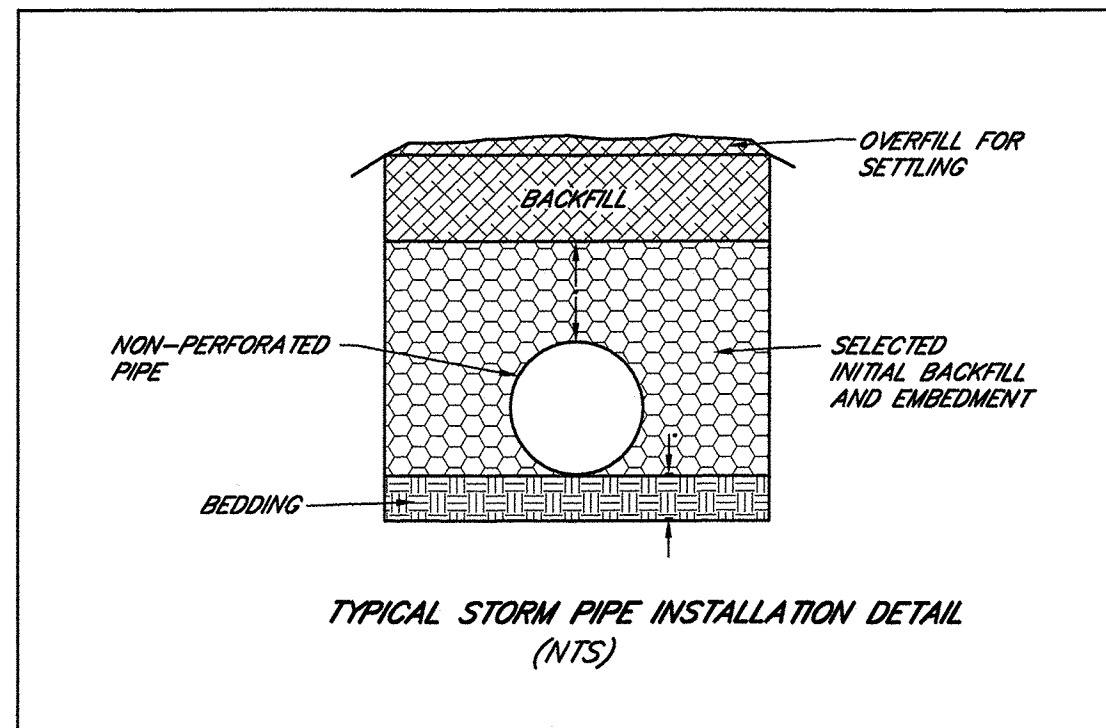
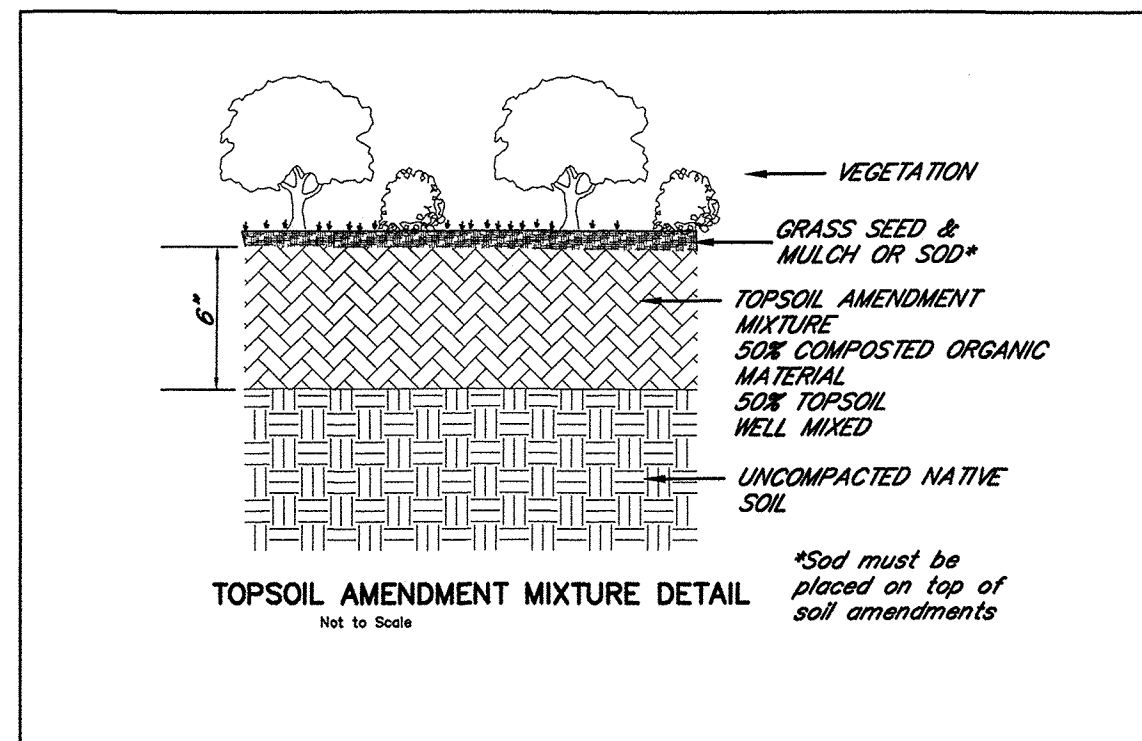
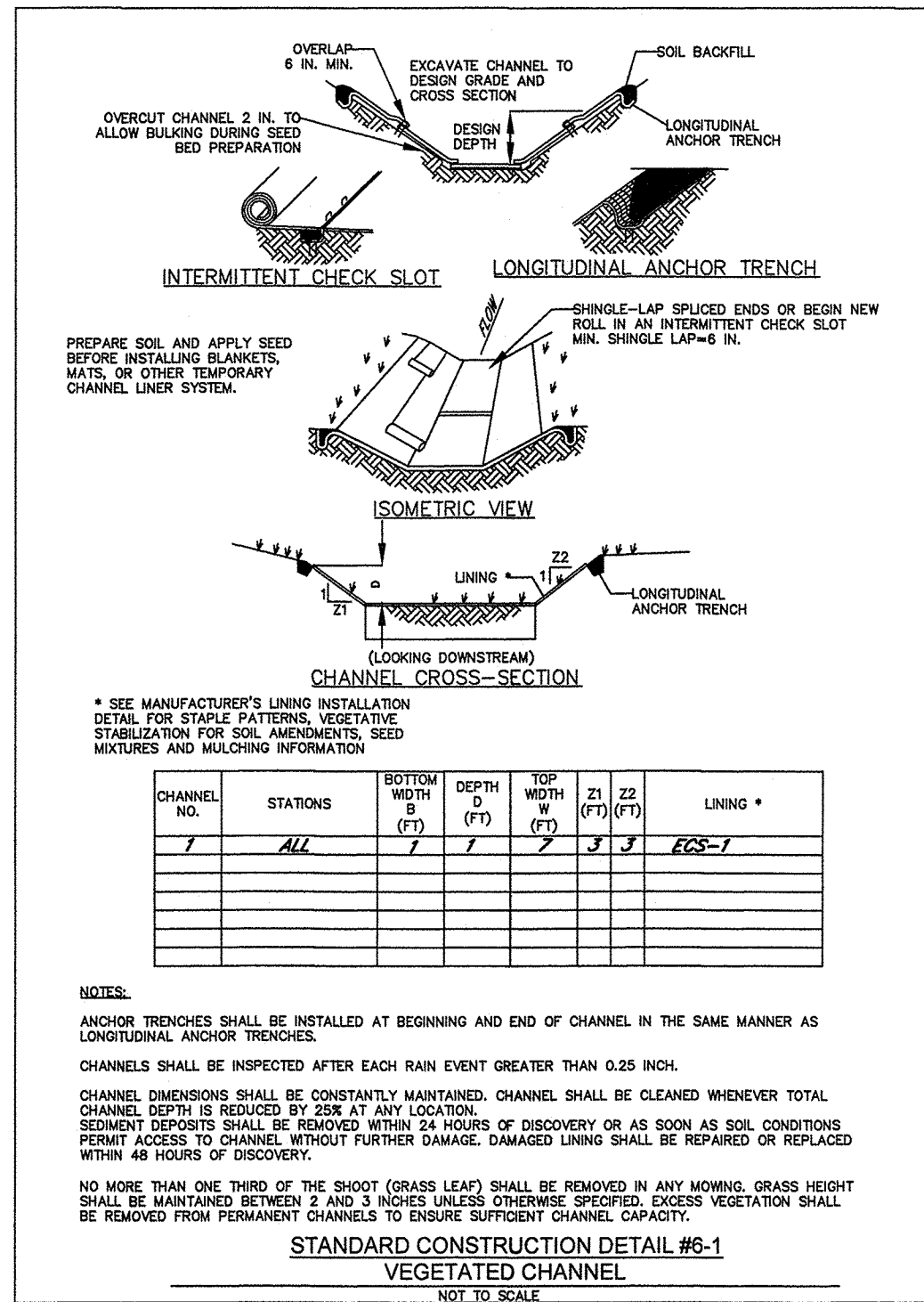
BMP TYPE	INSPECTION SCHEDULE	DIRECTIONS FOR MAINTENANCE &/ OR REPLACEMENT	FAILURE
INFILTRATION BED	Twice a year & after rain events (1" or more)	Catch basins and inlets (upgradient) should be inspected and cleaned.	Considered failed if does not dewater in 72 hours. Remove the existing infiltration bed and build a new infiltration bed to the design specifications.
		Inspect for accumulation of sediment, damage to control structures, signs of water contamination/spills	
		Inspect that bed dewaterers in 72 hours.	If the infiltration bed cannot be replaced to the design specifications in the location shown on the plans, a new design will be done and be submitted to the Conservation District for approval.
INLETS	Annually & after rain events (1" or more)	Inspect for leaves, debris, and/or sediment accumulation. Remove on an as needed basis but not delayed longer than 30 days.	Considered failed if inlet is damaged beyond repair. Replace with a new inlet of the same size and specifications.
		Inspect for structural deficiencies or damage. Repairs shall be made as quickly as possible, but within 60 days.	
		Keep area free of all obstructions.	
SOIL AMENDMENTS	Twice a year & after major rain events (1" or more)	The soil amendment process may need to be repeated over time due to compaction of the soil amendments from maintenance.	If the soil amendments cannot be replaced to the design specifications in the location shown on the plans, a new design will be done and be submitted to the Conservation District for approval.
		Grass clippings shall be removed. The soil amendment area may need to be watered during dry periods.	
		Inspect for erosion, compaction, vegetative cover and sediment accumulation. Sediment shall be removed and disposed per regulations.	
LANDSCAPE RESTORATION/ TREE PLANTING	Annually, as well as after every storm event greater than 1 inch.	Water regularly for the first growing season and during dry periods for the next 3-5 years or until trees are well established.	Considered failed if water ponds and does not infiltrate into the ground within 72 hours even after repairs. New topsoil may be added to the site and amended in accordance with the general sequence of construction for soil amendments.
		Mowing should be done at least twice per year. All grass clippings should be removed from site and disposed of per regulations. Mow height should be 6-8 inches.	
		Avoid excessive use of fertilizers, pesticides & herbicides.	
		Vegetated areas shall be inspected for erosion. Correct any erosion promptly.	
		Straighten any leaning trees or tubes and replace any broken stakes or tubes. Remove shelter tubes after tree trunks reach 2" in diameter. Replace any dead or damaged trees.	
GRASS CHANNELS	Annually & after rain events (1" or more)	Inspect for erosion, sediment accumulation, standing water. Repair any erosion immediately.	Considered failed if water does not flow as intended. Remove the existing channel and build a new channel to the design specifications on the drawings following the directions in the general sequence of construction for channels.
		Accumulated sediment shall be removed and disposed of per regulations. Litter shall be removed.	
		Mow channel as needed at a height of 3-4". Any invasive species shall be removed and replaced with native species. Clippings shall be removed and disposed of at a compost facility. Do not mow channel when it is wet to avoid ruts.	
		Bare areas shall be re-seeded. Proper E&S controls shall be used whenever bare soil is exposed or erosion channels are forming in the channel. Plant alternative plant species in the event of unsuccessful establishment.	
		Channel may need watered during dry periods.	
RAIN GARDEN	Twice a year & after major rain events (1" or more)	If draw down is longer than 48 hours, rototill and re-plant channel. If this does not work, soil amendments may need to be added.	Considered failed if the channel cannot be replaced to the design specifications in the location shown on the plans, a new design will be done and be submitted to the Conservation District for approval.
		Remove silt/sediment if the accumulation exceeds one inch within rain garden	
		All trash and debris shall be removed as necessary	
		While vegetation is being established, pruning and weeding may be required. Weeds should be removed thereafter by hand.	
		Detritus may also need to be removed approximately twice per year. Perennial plantings may be cut down at the end of the growing season.	
INFILTRATION BED	Twice a year & after major rain events (1" or more)	Mulch should be re-spread when erosion is evident and be replenished annually. Every 1 to 3 years the entire area may require mulch replacement.	Considered failed if it does not dewater in 72 hours even after repairs. Remove the existing bio-retention area / rain garden and build a new bio-retention area / rain garden to the design specifications on the drawings following the directions in the general sequence of construction for bio-retention area / rain garden.
		Inspect for sediment build up, erosion, vegetative conditions, etc.	
		During periods of drought, plants may require watering.	
		Health evaluation of trees and shrubs should be done twice per year.	
		Area is designed to dewater in 72 hours or less. If area is not, maintenance shall be performed to remedy the problem. Mulch layer may need replaced along with replanting of disturbed plants. Avoid compaction of BMP when performing maintenance.	

**Individual PCSM BMP Installation Sequence**

- Vegetated Channel**
  - After the erosion and sediment controls have been placed, the swale construction can begin.
  - Rough grade the channel. Equipment shall avoid excessive compaction and/or land disturbance. Equipment should operate from the side of the channel and not in the bottom. If excavation leads to substantial compaction of the sub-grade, 18" of soil should be removed and replaced with a blend of topsoil and sand. The channel area should be disc'd prior to final grading.
  - Final grade channel to the final elevations. Swale grades shall be per the plans and a minimum slope shall be maintained to ensure that there is no ponding in the channel.
  - Mulch, seed and install protective lining as per the approved plan and according to the final planting list. Plant the swale at a time of year when successful establishment without irrigation is most likely.
  - Once all tributary areas are sufficiently stabilized, remove temporary E&S controls. It is important that the swale be stabilized before receiving upland storm water flow.
  - If the channel was used for runoff conveyance during construction, accumulated sediments should be removed to a stockpile. The channel should be re-graded and re-seeded immediately after construction and stabilization has occurred. Any damage from construction shall be fully restored.
  - A licensed design professional shall inspect installation.
- Infiltration Beds**
  - Subsurface infiltration should be installed towards the end of construction if possible.
  - Install and maintain adequate E&S controls during construction where indicated on this plan.
  - Construction fence shall be installed around the beds to be installed. No construction equipment and vehicles shall traverse within the fenced area.
  - All excavation, leveling and placement of materials must be performed with a track or backhoe positioned outside of the bed area and reaching into the bed area.
  - If rock or other limiting zone is encountered within 24" of the proposed invert, undercut by 24" and backfill with 24" of loamy topsoil free of toxic substances, rock or unwanted plant material and having a pH between 5.5-6.5, a clay content less than 10% and an organic content of 5-10%.
  - Where erosion has caused accumulation of fine materials and/or surface ponding, this material should be removed with light equipment and the underlying soils scarified to a minimum of 6" with a yolk rake (or equivalent) and light tractor. All fine grading should be done by hand. All bed bottoms should be at level grade.
  - Geotextile and bed aggregate should be placed immediately after approval of sub-grade preparation. Geotextile should be placed on the sides and top in accordance with manufacturer's standards and recommendations. Adjacent strips of geotextile should overlap a minimum of 16". Foli back and secure excess geotextile during stone placement. It should be secured at least 4' outside the bed in order to prevent any runoff of sediment from entering the bed during construction.
  - Clean-washed, uniformly graded aggregate should be placed in the bed in maximum of 8" lifts. Each layer should be lightly compacted, with construction equipment kept off the bed bottom as much as possible.
  - Approved soil media or stone should be placed over the infiltration bed in maximum of 6" lifts.
  - If a vegetative cover is to be established over the infiltration bed, seed and stabilize the area.
  - Do not remove the inlet protection, unseal inlets or remove any other E&S control measures until the site is fully stabilized in the drainage area contributory to the bed.
  - A licensed design professional shall inspect the installation.
- Soil Amendments**
  - Once the upslope contributory drainage area is stabilized begin installation of the soil amendments.
  - Over excavate areas to receive soil amendments per the details show hereon. The area shall be ripped prior to soil amendment placement. The subgrade shall be inspected and certified prior to placement of soil amendments.
  - The soil amendment shall be mixed and placed at the locations and according to the details shown hereon. Care shall be taken to not compact these areas.
  - The areas shall be seeded and mulched per the stabilization specifications shown hereon.
  - A licensed design professional shall inspect the installation.
- Rain Garden**
  - Install orange safety fence around rain garden area to prevent compaction.
  - After the contributory drainage area has been stabilized, excavate the rain garden area to the proposed depth and scarify the existing soil surface. Do not compact the in-situ soil.
  - Backfill with amended planting material in 18" maximum lifts. Overfilling is recommended to account for settlement. Hand tamping is acceptable if necessary.
  - Pre soak the planting bed prior to planting to aid in settlement.
  - Complete final grading to achieve the proposed design elevations, leaving room for topsoil or mulch as shown on the plans.
  - Plant vegetation (trees, shrubs, perennials) according to supplier's recommendation form mid-March through the end of June and Mid September through Min-November. Install shelter tubes and stake.
  - Blow wood mulch (or compost) over the invert of the rain garden area and install erosion protection at surface flow entrances where necessary.
  - Do not place wood mulch on areas where cover will be established by seeding. If perennials are to be established with a seed mix in place of bulbs, plugs and rhizomes, straw mulch shall be used to protect the seeded areas and wood mulch placed only around the trees and shrubs.
  - Water the site at the end of each day for the first two weeks after planting is complete.
  - A licensed design professional shall inspect installation.
- Tree planting**
  - Prepare the site by removing undesirable or invasive species ahead of planting date (Mow site if possible).
  - Mark planting layout. Assemble planting equipment / tools (shovels, hammer, wire cutters, etc).
  - Purchase all materials in advance (trees, seedlings, mulch, weed mats, shelter tubes, stakes, wire, etc). Keep trees or seedlings moist & shaded until planted. Document species and number to trees planted.
  - Plant trees as specified on the plans. Plant seedlings or trees according to the supplier's recommendations from mid-March to end of June or from mid-September through mid-November. Allow enough room between trees to mow without damaging tree bark. Install shelter tubes & stake, place weed mat or mulch. Water trees at the end of the each day for the first two weeks after planting.
  - A licensed design professional shall inspect installation.

**GENERAL SEQUENCE OF CONSTRUCTION**

- Keep all construction equipment, materials, vehicles and stockpiles off of the infiltration areas to prevent compaction of the soils.
  - Build infiltration facilities using an excavator set to the side of the infiltration facility. Keep equipment off of the infiltration facility inverts to the maximum extent possible. Where necessary for construction of the infiltration facilities, equipment used within the infiltration facility shall be small, tracked and low weight bearing.
- Install inlets 1 thru 5 and the associated pipes. Build berm on the east side of the lot to direct offsite water into the inlets. Install inlet protection immediately.
  - Begin constructing the infiltration bed and inlets 6, 7, 8, 9, 10 & 11. An excavator sitting on the side of bed can excavate the soil down to the required elevation. Line the sides with filter fabric then place the stone, pipe and inlet. Once the stone, pipe and inlet are installed, place filter fabric on top of the stone bed and seal the inlets. Place a minimum of 18" of stone over the pipes where the parking area will be, to allow construction traffic. Place, at a minimum, 6" of topsoil over the bed where grass areas will be and seed & mulch with permanent cover. Critical stage: A licensed professional, or his designee, shall be onsite during the installation of the infiltration bed.
  - Building construction and utility installation may begin.
  - Grade channel 1 and line with matting, seed & mulch with permanent cover. Grade parking area and stone.
  - Once building is under roof, place a minimum of 6" of topsoil on grass areas, seed & mulch with permanent cover. Connect roof drains on the west to infiltration bed and the roof drains to the east shall be connected to inlet 7. Place soil amendments where shown. Critical stage: A licensed professional, or his designee, shall be onsite during the installation of the soil amendments.
  - Once drainage area to the rain garden is stabilized either with stone or grass, construction of the rain garden may begin. The rain garden should be constructed during a growing season. Seed with permanent cover. Plant trees and shrubs. Critical stage: A licensed professional, or his designee, shall be onsite during the installation of the rain garden.
  - Pave parking area.
  - Plant trees and shrubs. Critical stage: A licensed professional, or his designee, shall be onsite during the planting of the trees.
  - Immediately after earth disturbance activities cease in any area or subarea of the project, the operator shall stabilize all disturbed areas. During non-germinating months, mulch or protective blanketing shall be applied as described in the plan. Areas not at finished grade, which will be reactivated within 1 year, may be stabilized in accordance with the temporary stabilization specifications. Those areas which will not be reactivated within 1 year shall be stabilized in accordance with the permanent stabilization specifications.
  - Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas (ie: the building is under roof, proposed impervious areas have the stone or shale sub base in place or have been concreted or macadam and all remaining areas have a uniform 70% grass cover), the owner and/or operators shall contact the Adams County Conservation District for an inspection prior to the removal/conversion of the E&S BMPs. Temporary BMPs including but not limited to: PCE, filter sock, concrete washout, inlet protection.
  - Upon completion of all earth disturbance activities, removal of all temporary BMPs, installation of all permanent PCSM BMPs, and permanent stabilization of all disturbed areas, the owner and operators shall contact the Adams County Conservation District for a final inspection.
  - Developer shall submit a Notice of Termination.



Record of Revisions		
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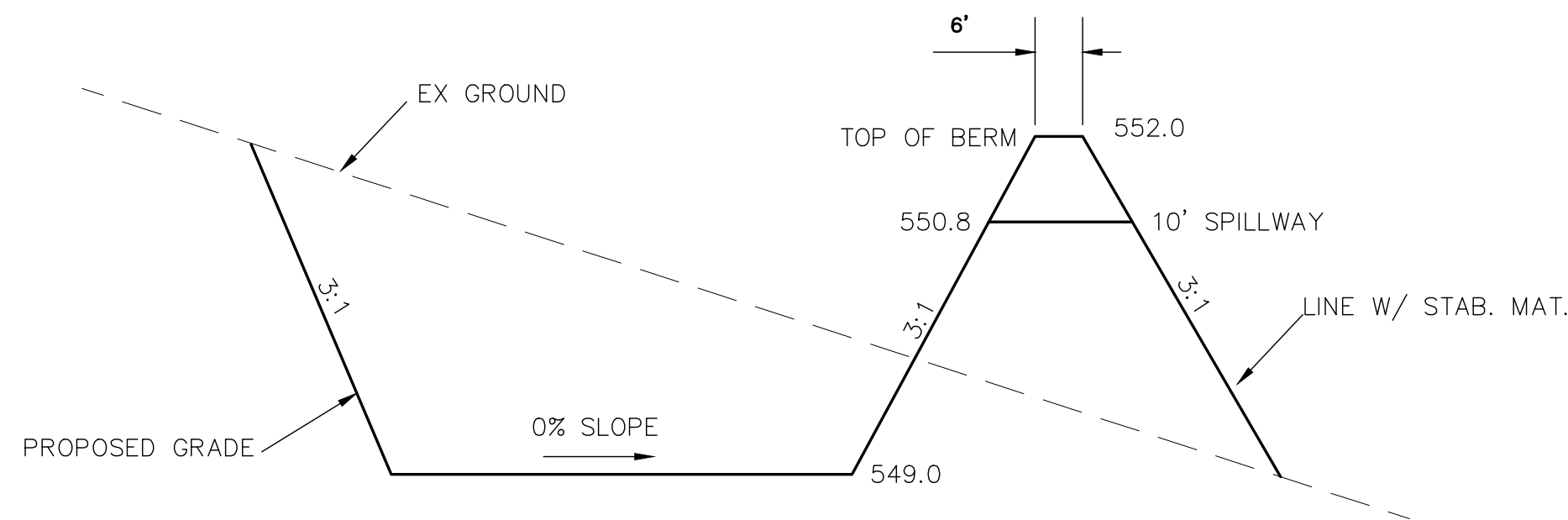
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 PENNSYLVANIA - MARYLAND  
 10764 BUCHANAN TRAIL EAST  
 WAYNESBORO, PA 17268  
 717-762-5619

**SHEET PC-3**

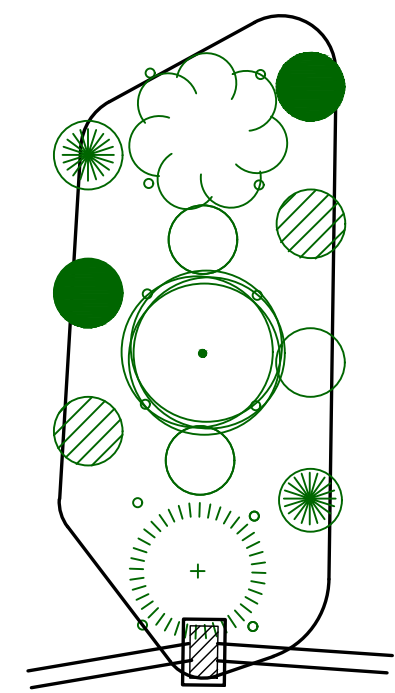
Area  
 Scale  
 Date 7/25/23  
 Drawn JAS  
 Checked  
 File 8701





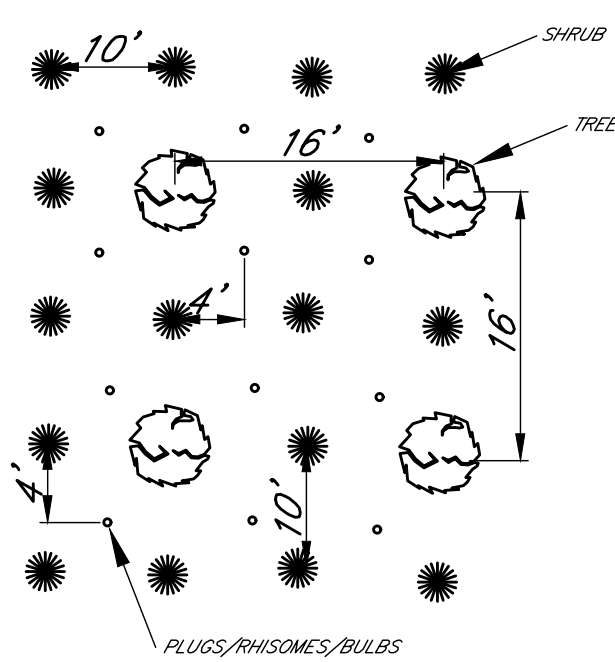
TYPICAL CROSS SECTION OF RAIN GARDEN AREA

NOT TO SCALE



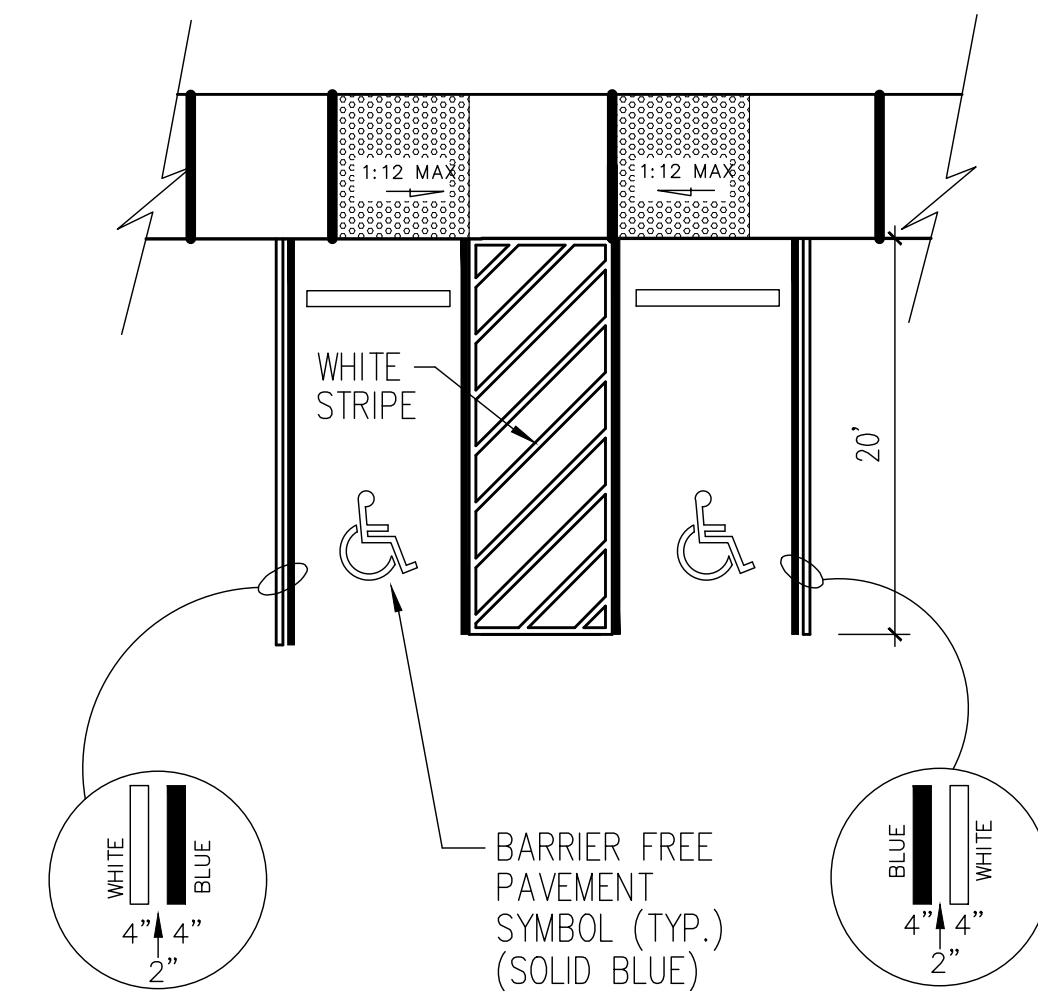
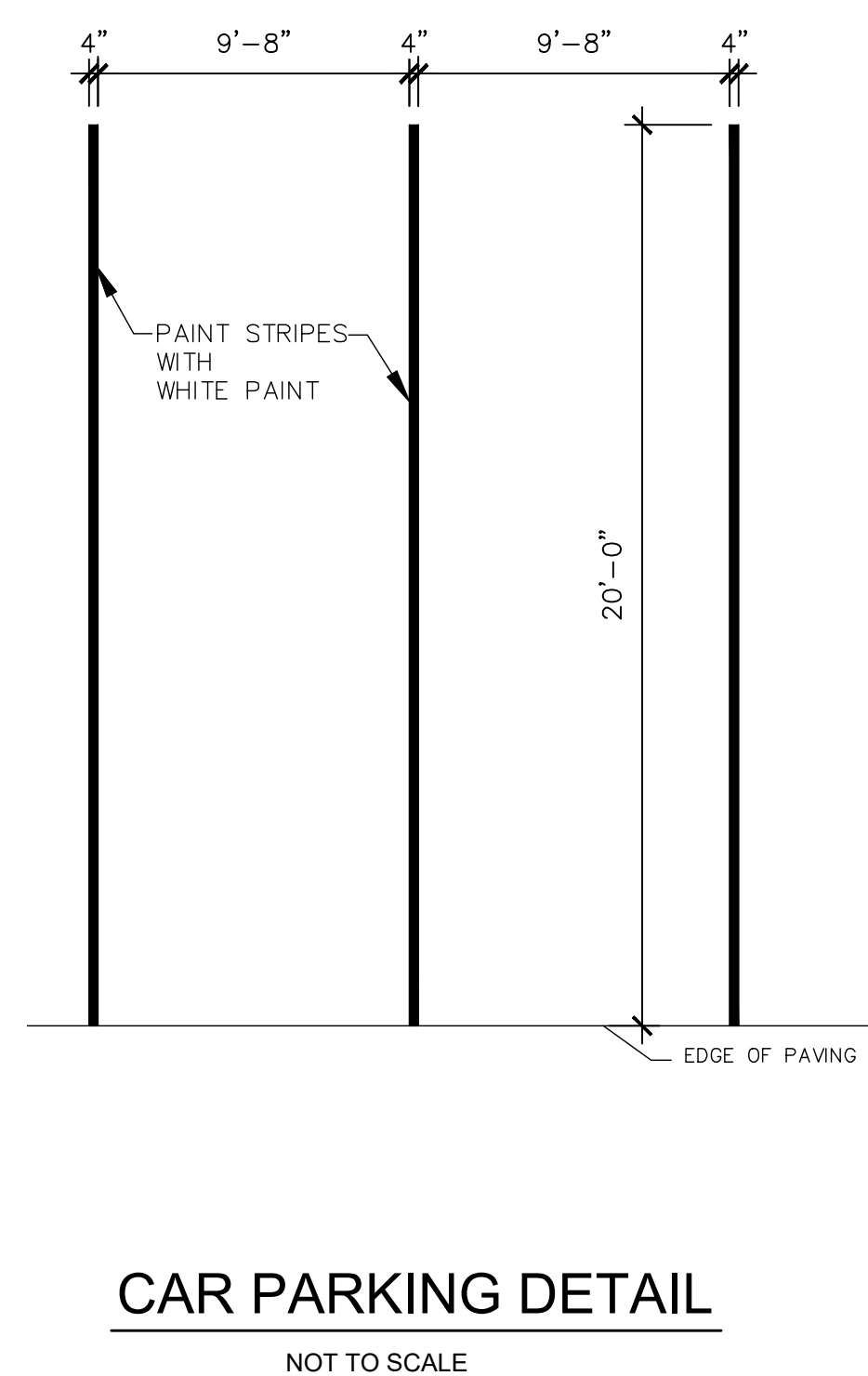
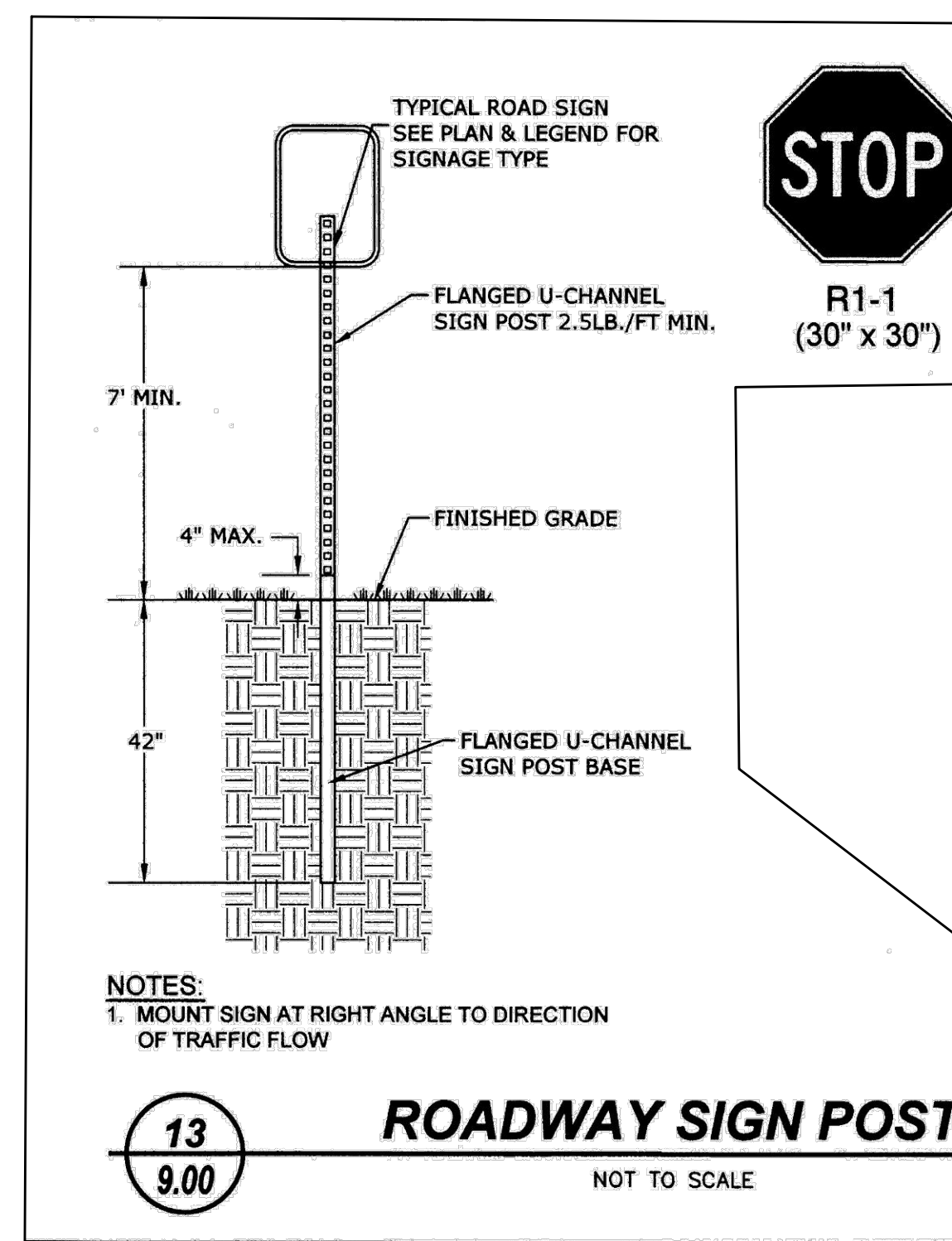
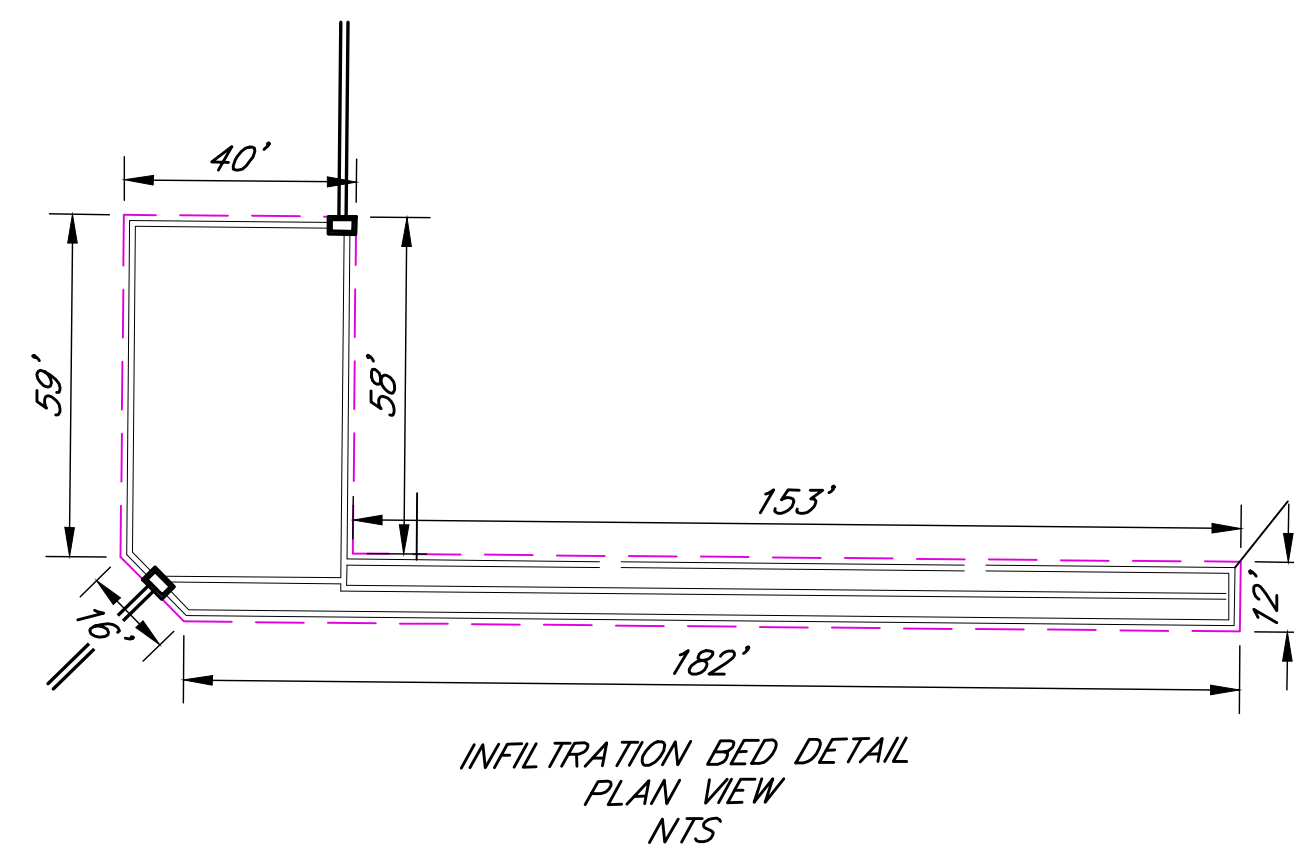
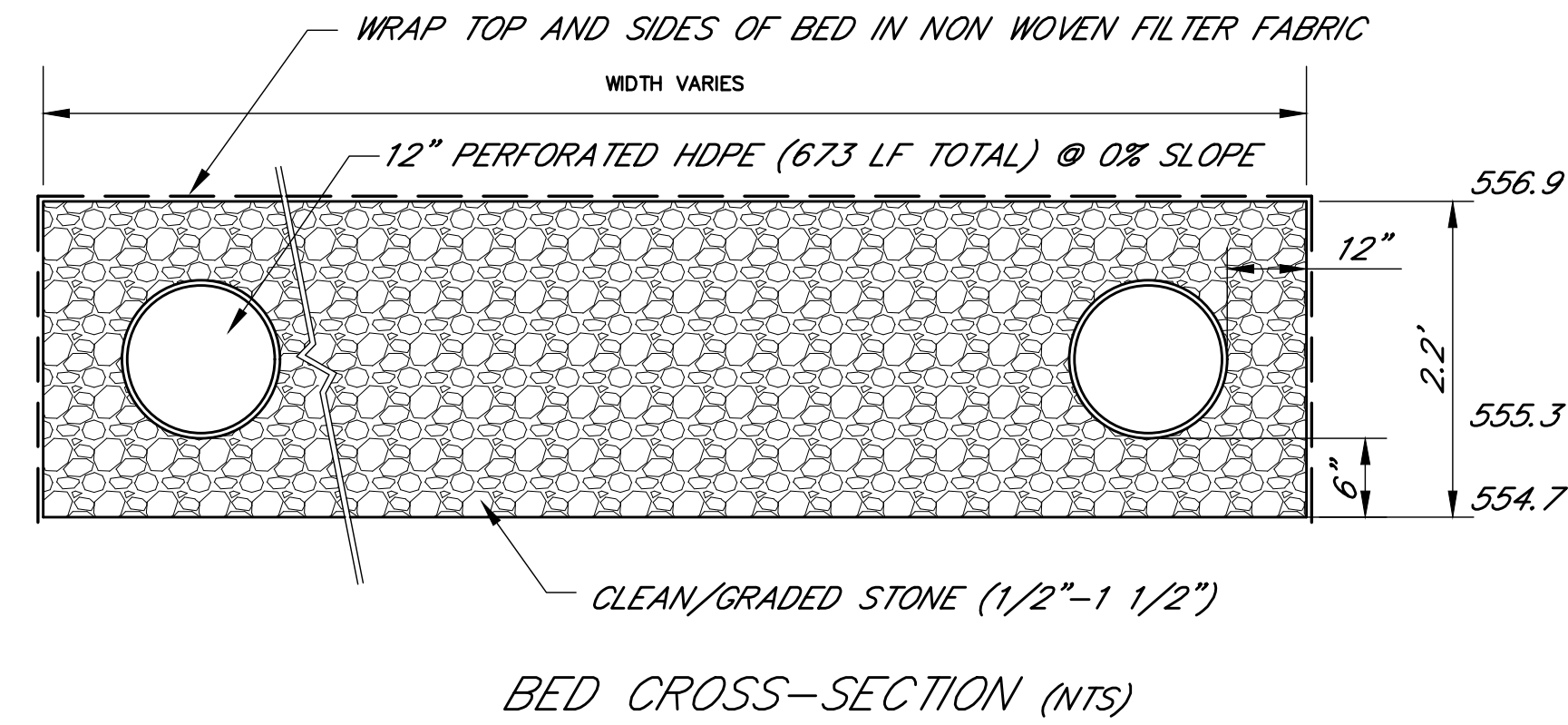
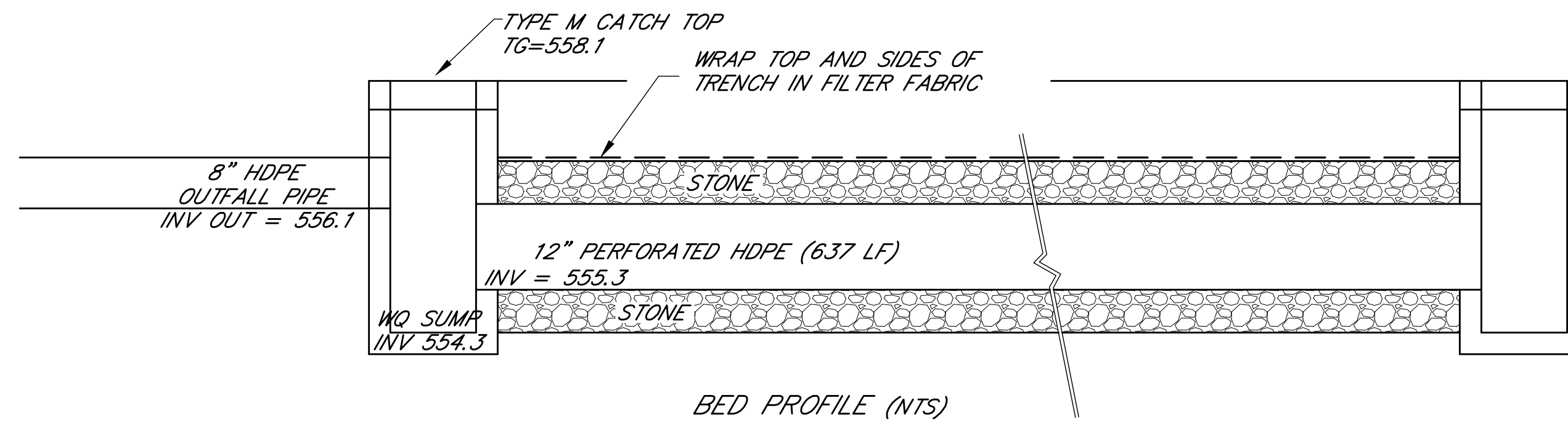
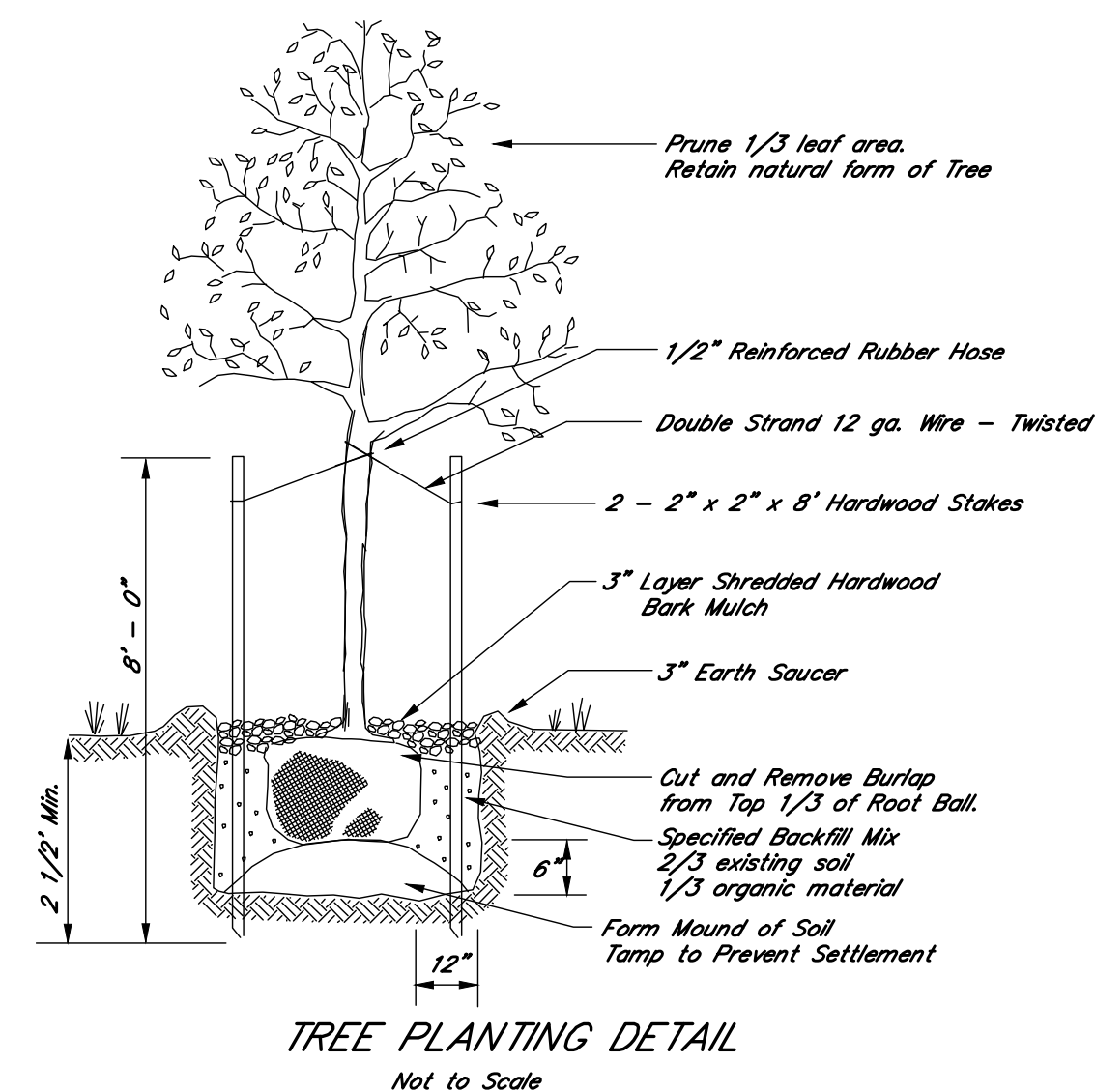
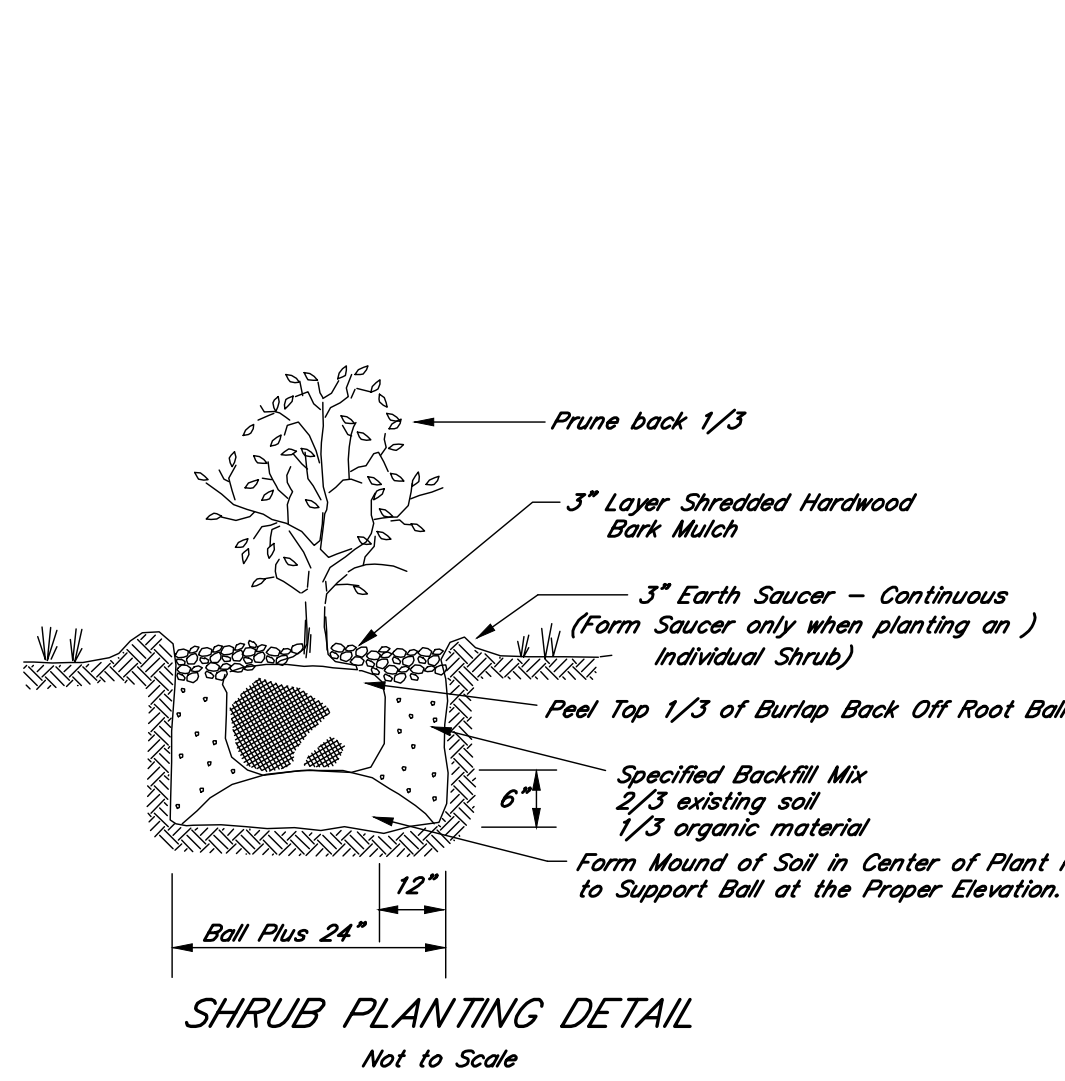
RAINGARDEN LANDSCAPE SCHEDULE							
SYMBOL	COMMON NAME	BOTANICAL NAME	REMARKS	QUANTITY	MIN. PLANT SIZE	MATURE HEIGHT (FT)	MATURE SPREAD (FT)
	WITCH HAZEL	HAMAMELIS VIRGINIANA	MULCH	1	3' HT	6-10	8-15
	GRAY DOGWOOD	CORNUS RACEMOSA	MULCH	1	3' HT	10-15	10-15
	WASHINGTON HAWTHORN	CRATAEGUS PHAENOPYRUM	MULCH	7	3' HT	25-30	25
	LOWBUSH BLUEBERRY	VACCINIUM ANGUSTIFOLIUM	MULCH	2	18" HT	0.5-2	2
	RED OSIER DOGWOOD	CORNUS SERICEA	MULCH	2	18" HT	6-9	8-12
	BUTTONBUSH	CEPHALANTHUS OCCIDENTALIS	MULCH	2	18" HT	5-12	4-8
	WINTERBERRY	ILEX VERTICILLATA	MULCH	3	18" HT	3-5	3-5

\*PLANT TREES @ 16' O/C  
PLANT SHRUBS @ 10' O/C BETWEEN TREES  
PLANT PLUGS/RHIZOMES/BULBS IN BETWEEN SHRUBS AND TREES



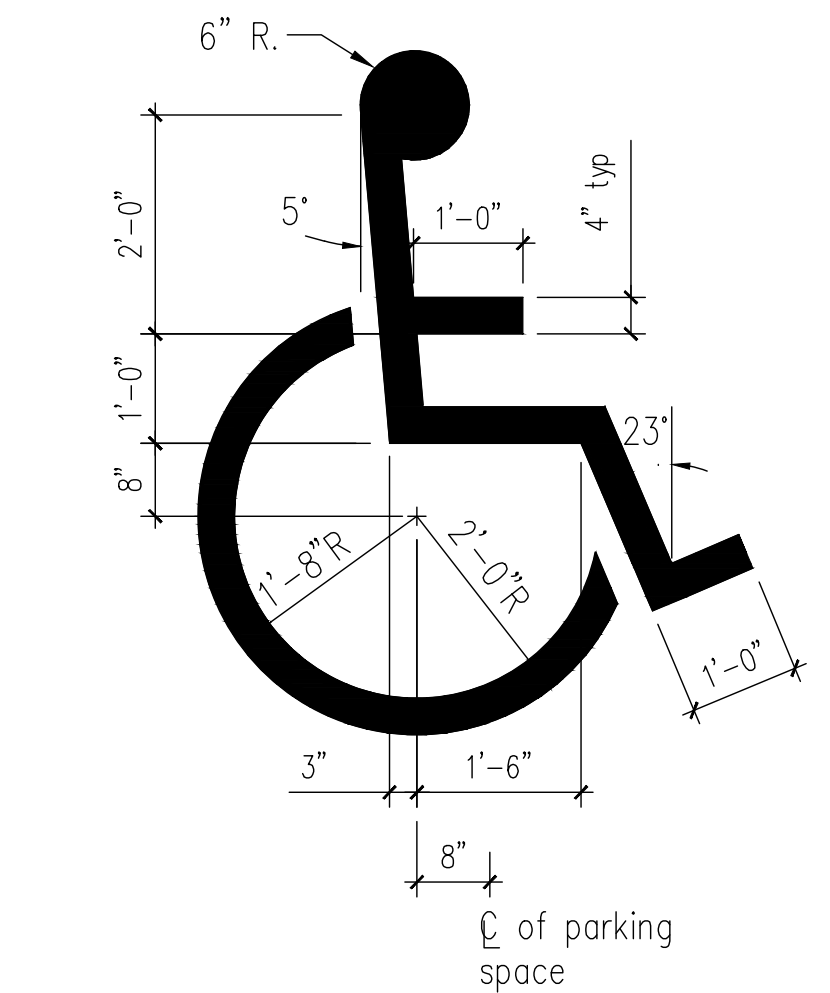
PERENNIALS FOR RAINGARDEN AREAS	
COMMON NAME	BOTANICAL NAME
LILY TURKS CAP	LILIUM SUPERBUM
FOXGLOVE BEARDTONGUE	PRENANETHUS DIGITALIS
NEW ENGLAND ASTER	ASTER NOVAE ANGLIAE
BALL CONE FLOWER	RUDBECKIA LACINATA
JOE PYE WED	EUPATORIUM FISTULOSUM
BALSAM WORMWOOD	PACHYRA PAUPERCAULIS
OPHELISBELL	GERANIUM MADAGASCARICUM
CARDINAL FLOWER	LOBELIA CARDINALIS
EARLY CONEFLOWER	RUDBECKIA FULGIDA

PLUGS / RHIZOMES / BULBS TO BE PLANTED IN OPEN SPACE BETWEEN TREES AND SHRUBS AS NEEDED TO COVER AREA BETWEEN TREES AND SHRUBS (IE: 24" O/C)

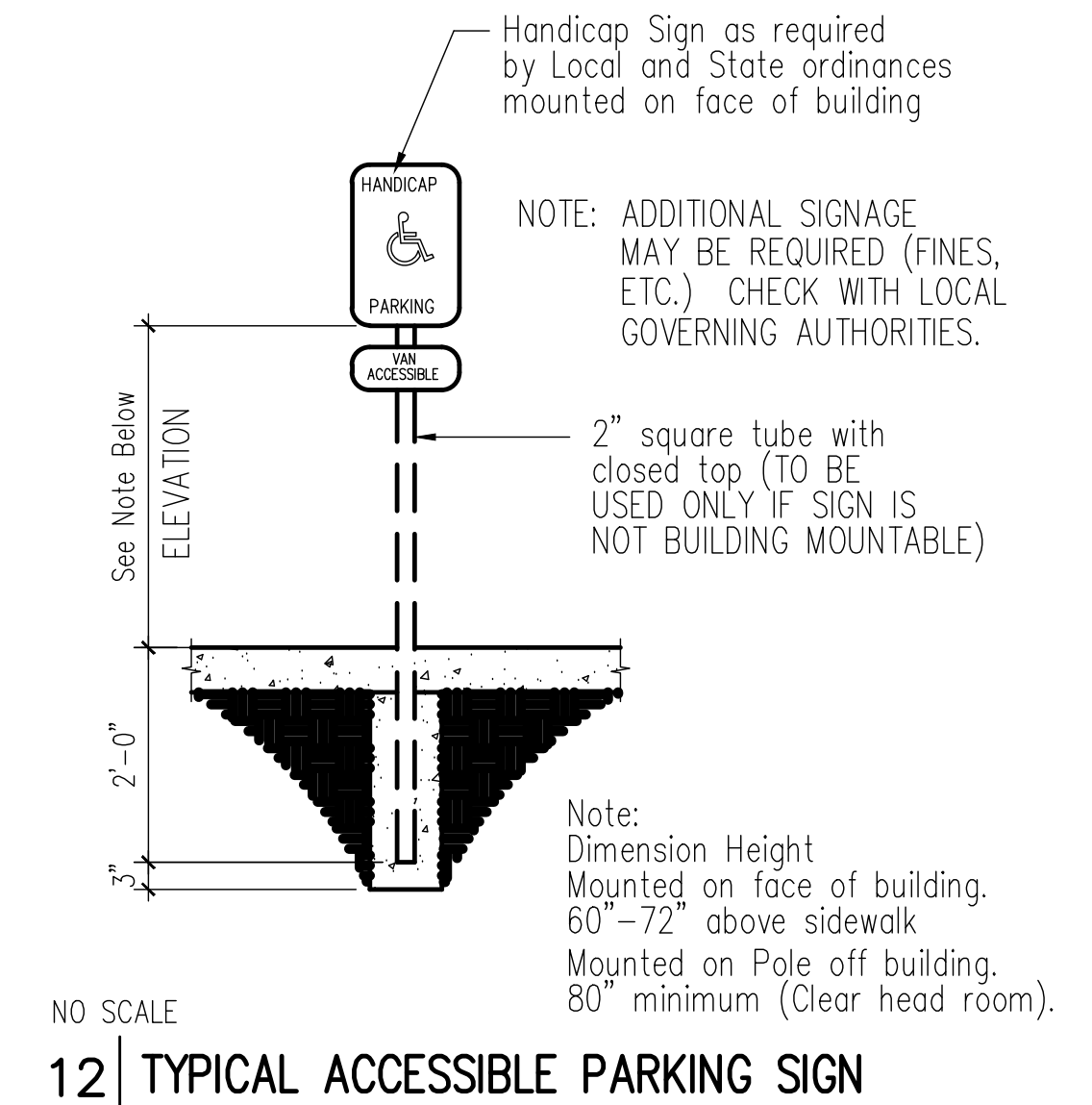


PCSM NOTES & DETAILS FOR  
**FIFTY PROPERTIES, LLC**  
SITUATE IN  
CARROLL VALLEY BOROUGH  
ADAMS COUNTY  
PENNSYLVANIA

R LEE ROYER & ASSOCIATES  
SURVEYING  
PENNSYLVANIA - MARYLAND  
10764 BUCHANAN TRAIL EAST  
WAYNESBORO, PA 17268  
717-763-5619  
SHEET PC4

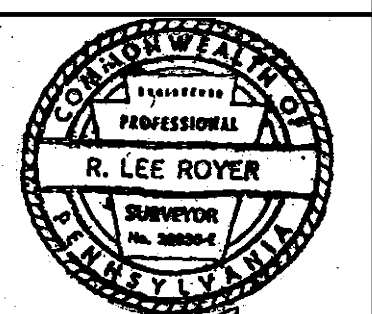


NO SCALE  
6 INT'L BARRIER FREE SYMBOL



Record of Revisions		
Date	Initials	Revision Made
11/1/23	JAS	per KPI comments

Area	Scale	Date	Drawn	Checked	File
		7/25/23	JAS		8701





BOROUGH of CARROLL VALLEY  
ADAMS COUNTY, PENNSYLVANIA

Ordinance No. \_\_-2023

AN ORDINANCE OF THE BOROUGH OF CARROLL VALLEY, ADAMS COUNTY, PENNSYLVANIA, AMENDING CHAPTER 11 OF THE CARROLL VALLEY BOROUGH CODE OF ORDINANCES, ADDING A PART 2 TO REGULATE SHORT-TERM RENTALS.

BE IT ENACTED AND ORDAINED BY THE BOROUGH COUNCIL OF THE BOROUGH OF CARROLL VALLEY, ADAMS COUNTY, PENNSYLVANIA, THAT CHAPTER 11 WILL BE AMENDED TO THE CARROLL VALLEY BOROUGH CODE OF ORDINANCES AS FOLLOWS:

**WHEREAS**, Short-Term Rentals of Dwellings have become a significant segment of the local tourism economy; and

**WHEREAS**, Short-Term Rentals of Dwellings provide a community benefit by expanding the number and type of lodging facilities available and assist Owners of single-family homes by providing revenue which may be used for maintenance, upgrades, and deferred costs; and

**WHEREAS**, while the majority of these Short-Term Rentals operate without a problem, there have been numerous complaints to the Borough regarding excessive noise, parking, litter, and concerns regarding security, public safety, and trespass; and

**WHEREAS**, the transitory nature of Occupants of Short-Term Rentals makes enforcement against the Occupants difficult; and

**WHEREAS**, the provisions of this Ordinance are necessary to prevent the continued burden on Borough and community services and impacts on residential neighborhoods posed by Short-Term Rentals; and

**WHEREAS**, the provisions of this Ordinance are necessary to provide for a system of inspections, the issuance and renewal of licenses, and to establish penalties for violations.

**NOW THEREFORE, BE IT ORDAINED AND ENACTED** by the Borough Council of Carroll Valley Borough, Adams County, Pennsylvania, pursuant to the above authority, as follows:

**SECTION 1.     SHORT TITLE.**

This Ordinance shall be known as “The Short-Term Rental Ordinance of Carroll Valley Borough.”

**SECTION 2.     AMENDMENT OF CHAPTER 11.**

Part 2 of Chapter 11, entitled: “SHORT-TERM RENTALS,” is hereby created and added to the Code of Ordinances of Carroll Valley Borough to provide as follows:



Part 2  
**SHORT-TERM RENTALS**

**§ 204-1. Title.**

This Chapter shall be known and may be cited as “The Short-Term Rental Ordinance of Carroll Valley Borough.”

**§ 204-2. Authority.**

Under the authority of the Pennsylvania Borough Code (including, but not limited to, Articles XII, XXXII-A, and XXXIII of such law including, but not limited to, Section 1202 subsections (1), (3), (4), (5), (8), (14) (15) (20) (61) and (65), Section 3204-A, and Section 3108), the following new ordinance text is hereby adopted as Part 2 of Chapter 11 in the Codified Ordinances of Carroll Valley Borough.

**§ 204-3. Scope.**

The provisions of this Chapter shall apply to all residential Dwelling Units, conversions of nonresidential structures to residential dwellings, and all existing Premises within the Borough of Carroll Valley. The Owner of the subject Premises shall be responsible for compliance with the provisions of this Chapter, and the Owner, Manager, or renting occupants’ failure to comply with this Chapter’s requirements shall be deemed noncompliance by the Owner.

**§ 204-4. Definitions.**

As used in this Chapter, the following terms shall have the following meanings. If a term is not defined in this Chapter but is defined in the Borough’s Property Maintenance/Nuisance Code or Uniform Construction Codes, then that definition shall apply to this Chapter. If a term is not defined in any of those codes but is defined elsewhere in the Borough Code, then the definition in such Chapter shall apply to this Chapter.

**BEDROOM** -- A room or space designed ~~to be used~~ for sleeping purposes with two means of egress (one of which may be a window acceptable under the building code) and in close proximity to a bathroom. Space used for eating, cooking, bathrooms, toilet rooms, closets, halls, storage or utility rooms, and similar uses are not considered bedrooms. Space used or intended for general and informal everyday use, such as a living room, den, sitting room, or similar, is not ~~to be~~ considered a bedroom.

**CODE ENFORCEMENT OFFICER (CEO)** -- The Borough-appointed Code Enforcement Officer(s) ~~has the duty is responsible to enforce for enforcing~~ this Chapter and the Code and any assistants or deputies appointed by the Borough. At the discretion of the Borough Council, an independent entity or contractor may be appointed to enforce part or all of this function under this Chapter.

**DWELLING UNIT** -- One or more rooms, occupied or intended for occupancy, as separate living quarters by a single family maintaining a household, the members of which have unrestricted access to all other parts thereof, with cooking, sleeping, and sanitary facilities provided therein, for the exclusive use of that single family. For the purposes of this Chapter, this term shall be



used when referring to dwellings and/or dwelling units, as defined under the Zoning Ordinance, and shall include guesthouses.

FAMILY-- One or more individuals related by blood, marriage, or adoption (including persons receiving formal foster care) or up to four (4) total unrelated individuals who maintain a common household and live within one Dwelling Unit, except as provided otherwise in the Code. For this purpose, "related" shall mean persons who are related by blood, marriage, adoption, civil union recognized by any state, or formal foster relationship to result in one of the following relationships: spouse, brother, sister, parent, child, grandparent, great-grandparent, grandchild, great-grandchild, uncle, aunt, niece, nephew, sister-in-law, brother-in-law, parent-in-law or first cousin. "Step" relationships shall also be included, such as stepmother. "Related" shall not include any relationship further than direct first cousins.

Notwithstanding the above definition, a family shall also be deemed to include any number of mentally or physically disabled persons occupying a dwelling unit as a single, nonprofit housekeeping unit if such occupants are disabled persons as defined in Title VIII of the Civil Rights Act of 1968, as amended by the Fair Housing Amendments Act of 1988. Such unrelated individuals shall have the right to occupy a Dwelling Unit in the same manner and to the same extent as any family unit as defined above.

LOCAL CONTACT PERSON — A person or agent with actual authority to represent the Owner for purposes of contact and communication regarding the Owner's Short-Term Rental. A local contact person must be able to respond and arrive at the Short-Term Rental property within one hour of notice and must be authorized to act as a legal agent for the Owner. If there is a change in the identity of the local contact person, the Borough must be notified, in writing, within 14 days or prior to the Rental of the property if the Rental occurs within said fourteen-day period.

SHORT-TERM RENTAL – Any Residential Dwelling Unit utilized as a single-family residence rented for the purpose of overnight lodging for a period of not less than one (1) day and not more than thirty (30) days and which is registered with the Adams County Treasurer's Office in compliance with County Ordinance No. 3 of 2012 for the payment of Hotel Room Rental Tax, as may be reenacted or amended.

SHORT-TERM RENTAL LICENSE – Permission granted by the Borough to utilize a Dwelling Unit for Short-Term Rental use.

#### **§ 204-5. License Required.**

No Owner of any Premises in Carroll Valley Borough shall operate a Short-Term Rental in Carroll Valley Borough without first obtaining a Short-Term Rental License from the Code Enforcement Officer. Operation of a Short-Term Rental without a Short-Term Rental License is a violation of this Chapter.

#### **§ 204-6. License Requirements.**

- A. Application requirements. Short-Term Rental License applications shall contain the following information:



1. The name, address, telephone number, and email address of the Owner. If the Owner is not a full-time resident of the Borough of Carroll Valley or does not live or have a primary physical work address (beyond a post office box) within a twenty-mile radius of the Borough of Carroll Valley, then the Owner shall designate a Person to serve as Manager who does reside or have a primary physical work headquarters (beyond a post office box) within a twenty-mile radius of the Borough of Carroll Valley. If the Owner is a corporation, partnership, or similar entity, a Manager shall be appointed to meet the above requirements. If the Owner is not required to have or has not designated a Manager, then the Owner shall provide a 24-hour telephone number. If the Owner uses a Manager, that Manager shall have written authorization to accept service for the Owner.
2. The name, address, and 24-hour telephone number of the Manager.
3. Total habitable floor space and total number of bedrooms for the short-term rental. T
4. If the building is a multi-dwelling unit structure, the total number of dwelling units in the structure and the number of dwelling units being used as Short-Term Rentals. Each Dwelling Unit in a multi-dwelling unit structure must have a separate Short-Term Rental License.
5. A site plan showing property lines, driveways, and all structures, including the location and number of on-site parking spaces. An on-site inspection will be required to verify available parking spaces and consistency with the submitted site plan.
- ~~6. If the property is not on the Borough Sewer system, the location, age, and capacity of the sewage disposal system must be provided. This should include the location of the drain field and tanks.~~
- ~~7.~~6. Septic system evaluation certifying the existing system is functioning as intended and proof the tank was pumped within the past three (3) years for approval by the Sewage Enforcement Officer. An inspection of the on-lot sewage disposal system to verify consistency with the submitted site and floor plans may be required.
- ~~8.~~7. Copies of the current Adams County Hotel Room Excise Tax Certificate and current Pennsylvania Sales and Use Tax License.
- ~~9.~~ Signatures of both the Owner and the Manager.
- ~~10.~~8.
- ~~11. Trespass Waiver signed by the Owner allowing access to the Premises for the Code Enforcement Officer for the purpose of inspection to verify compliance with this Ordinance.~~
- ~~12.~~9. Copy of the current recorded Deed for the Premises establishing ownership may be required.
- ~~13.~~10. No permit will be issued to any owner who is delinquent with Borough sewer fees or property taxes for all properties owned, in whole or in part, by the Owner in the Borough. If sewer fees or property taxes become delinquent after the issuance of a Short Term Rental



permit, the permit will be revoked until such time as the delinquent account is brought current.

14.11. Short-Term Rental ~~Premises must have a private solid waste hauler with a weekly pick-up. Owners must provide weekly trash removal.~~ No dumpsters are permitted. Account verification is required.

15.12. A statement by the owner that there are no delinquent Adams County Hotel Room Excise Tax or Pennsylvania sales/use taxes due and owing with respect to Short-Term Rentals on all properties owned, in whole or in part, by the Owner in the Borough.

- B. A Short-Term Rental License shall be issued only to the Owner of the Short-Term Rental Premises.
1. A separate Short-Term Rental License is required for each Dwelling Unit; for two-family or multi-family dwellings, a separate License shall be required for each Dwelling Unit being used as a Short-Term Rental.
  2. A Short-Term Rental License is effective for ~~a period of one (1) year or until any of the conditions of the Short-Term Rental which are one (1) year or until any of the conditions of the Short-Term Rental~~ governed by this Chapter are changed, whichever shall first occur. A Short-Term Rental License must be renewed annually, and also when any of the conditions of the Short-Term Rental which are governed by this Chapter are changed.
  3. The Owner, by making an application for a Short-Term Rental License and/or accepting issuance of a Short-Term Rental License, grants permission for any and all inspections authorized by this part.
  4. The Borough will prescribe forms and procedures for ~~the processing of~~ processing License applications under this Ordinance.

**§ 204-7. Short-Term Rental Standards.**

- A. Overnight occupancy of a Short-Term Rental shall be limited to no more than two (2) persons per bedroom plus four (4) additional persons.

Number of Bedrooms	Maximum Number of Occupants
2	8
3	10
4	12
5	14

- B. The maximum number of day guests allowed at any one time, in addition to the overnight occupants, shall be fifty percent (50%) of the maximum overnight occupancy of the Short-Term Rental.

- C. C. For Short-Term Rentals using an on-site septic system, the number of bedrooms permitted for a Short-Term Rental shall not exceed the number of bedrooms approved for the Dwelling Unit on the sewage permit issued for such property. Where there is no sewage permit on record, the Short-Term Rental shall be limited to three (3) bedrooms unless proof is provided to the Sewage Enforcement Officer that the septic system is adequate to handle additional flows. Any Short-Term Rental advertising more than five (5) bedrooms shall provide proof that the septic system is adequate to handle such flows by having the system approved by the Sewage Enforcement Officer, or by providing a septic permit previously issued by a Sewage Enforcement Officer. If a sewage system malfunction occurs, the Short-Term Rental of the Dwelling Unit shall be discontinued until the malfunction is corrected in accordance with Borough and Pennsylvania Department of Environmental Protection requirements.
- D. Off-street parking areas for Short-Term Rental uses must meet the Zoning Ordinance requirements for single-family dwellings. Day visitors must park ~~in accordance with the applicable~~according to the on-street parking requirements for that street. Overnight guests must park in an approved off-street parking area, not on the street. Any expansion of parking areas for a Short-Term Rental requires prior Borough approval. Parking areas shall be maintained in a mud-free condition with paving, stone, or similar material and shall count as part of the maximum lot coverage limits in Chapter 27.
- E. Short-Term Rental Premises are considered a commercial account in the Borough's sanitary sewer collection service; Short-Term Rental Premises must have a commercial sanitary sewer account for each rental unit on the property.
- F. Neither Short-Term Rental Occupants nor guests shall engage in disorderly conduct or disturb the peace and quiet of any nearby neighborhood or person by loud, unusual, or excessive noise, by tumultuous or offensive conduct, public indecency, threatening, traducing, quarreling, challenging to fight, or fighting, or creating a dangerous or physically offensive condition.
- G. The Owner shall notify the Occupants of the rules regarding Short-Term Rentals and respond when notified that occupants ~~are violating~~violate laws, ordinances, or regulations regarding their occupancy.
- H. Overnight occupancy of recreational vehicles, camper trailers, and tents at the property where the Short-Term Rental is located shall not be allowed. Outdoor overnight sleeping of occupants or guests of the Short-Term Rental is prohibited.
- I. A Short-Term Rental shall not have any outside appearance indicating a change of use from the surrounding residential uses. Exterior advertising shall conform with the requirements of Chapter 27
- J. All Short-Term Rentals shall have a ~~clearly~~ visible and legible notice posted conspicuously within the dwelling unit ~~on or adjacent to the front door~~ containing the following information:



1. The name of the Owner or the Manager of the unit and a telephone number at which that party can be reached on a 24-hour basis.
  2. The 911 address of the Premises.
  3. The maximum number of Occupants permitted to stay in the Dwelling Unit and the maximum number of day guests permitted at any one (1) time.
  4. The maximum number of all vehicles allowed to be parked on the Premises and the requirement that all overnight guest parking must be on the Premises and not in or along any private, community, or public street right-of-way or on any lawn or vegetated area on the property.
  5. Notification that an Occupant or guest may be cited and fined for creating a disturbance or for violating other provisions of the Carroll Valley Borough Code of Ordinances, including parking and occupancy limits.
  6. The trash pick-up day and notification that trash and refuse shall not be left or stored on the property's exterior, including instructions for where and when to place the trash for pickup.
- K. All short-term rentals shall be equipped with the following:
1. Smoke detectors in each bedroom;
  2. Smoke detectors outside each bedroom in common hallways;
  3. Smoke detectors on each floor;
  4. GFI outlets for outlets located within six feet of water source;
  5. Aluminum or metal exhaust from the dryer, if provided for tenant use;
  6. Carbon monoxide detector if open flame (oil or gas) furnace, gas or wood fireplace, or wood-burning stove;
  7. Carbon monoxide detector, if a garage is attached;
  8. Fire extinguisher in kitchen;
  9. Stairs (indoor and outdoor) in good condition; and
  10. Swimming pools, hot tubs, and spas must meet the barrier requirements as required by the current edition of the PA Uniform Construction Code; and
- L. The Owner shall not enter into a rental agreement with a person under 18 years of age.
- M. Owner's Compliance with the requirements of this section shall be considered conditions of a short-term rental permit. Violation of any of the requirements of this section shall be grounds for revocation of the short-term rental permit by the Code Enforcement Officer. In the event that more than one short-term Rental is located on a single property, and any one short-term Rental is in violation of any of the requirements of this section, all permits associated with the property may be revoked.
- N. The Owner must guarantee continued compliance with Chapter 10. Any violation of Chapter 10 may cause the revocation of the Short-term Rental Permit for a minimum of 12 months, but no longer than 36 months, at the discretion of the Code Enforcement Officer.

#### **§ 204-8. Fees, Term, and Renewal.**

- A. Short-Term Rental License fees, payable to the Borough upon the filing of a Short-Term Rental License application, shall be in such amount as may be established by resolution duly adopted by the Borough Council.
- B. Any Short-Term Rental License is valid for a period not to exceed one (1) year from the date of issuance and must be renewed annually. Short-Term Rental License renewal fees, payable to the Borough upon ~~the filing of filing~~ a Short-Term Rental License renewal application, shall be in such amount as may be established by resolution duly adopted by the Borough Council ~~from time to time.-~~
  - 1. Short-Term Rental License renewal shall require inspections outlined in Section 204-10 below.
  - 2. Short-Term Rental License renewal applications shall contain information regarding any changes from the immediately preceding application with respect to matters governed by this Ordinance.

#### **§ 204-9. Enforcement Officer.**

The Carroll Valley Borough Code Enforcement Officer and/or other appointed official shall conduct inspections, make reports, ~~and~~ administer this Chapter, and issue notices of violation.

The Code Enforcement Officer and/or other appointed official, with the authorization of the Borough Council, may engage the services of competent engineers or other consultants to determine the nature and extent of any violation.

#### **§ 204-10. Annual Inspections Required.**

- A. All Short-Term Rentals shall be subject to an annual inspection by the Code Enforcement Officer to verify application information, License, License renewal, and/or operating requirements. All Short-Term Rentals shall be inspected to meet the full requirements of the Borough's adopted Property Maintenance and Nuisance Codes.
- B. The issuance of a Short-Term Rental License or inspection is not a warranty that the Premises is lawful, safe, habitable, or in compliance with this Chapter of the Code of Ordinances. Rather, the license indicates that the Premises are either set to be inspected on a routine basis or, if inspected, the Premises met this Chapter of the Code of Ordinance requirements on the day and at the time of the inspection.
- C. Within the limitations of federal and state law, the Code Enforcement Officer may apply to a Magisterial District Judge or any legal authority having jurisdiction for an administrative search warrant to enter and inspect a Short-Term Rental Unit and the Premises. Such warrant is only required where access to a Short-Term Rental Unit or common areas is denied to the Code



Enforcement Officer after a request to a person with a possessory interest in the regulated rental unit.

#### **§ 204-11. Marketing.**

The marketing of a Short-Term Rental in which the advertised occupancy exceeds the maximum occupancy requirements permitted by this Chapter or which promotes any other activity ~~which is~~ prohibited by this Chapter shall be a violation of this Chapter.

#### **§ 204-12. Notice of Violation.**

If it appears to the Code Enforcement Officer that a violation of this Chapter exists or has occurred, the Code Enforcement Officer shall send a written Notice of Violation to the Owner and/or Manager (if one is so designated) by personal delivery or by both United States first class and certified mail. The Enforcement Notice shall identify the Premises which is the subject of the violation, enumerate the conditions which constitute the violation, cite the specific sections of this Chapter that are violated, indicate the action required to correct the violation, and provide a time frame (established by the Code Enforcement Officer based upon the nature of the violation) to correct the violation.

#### **§ 204-13. Nuisance.**

In the interest of promoting public health, safety, and welfare and minimizing the burden on Borough and community services and impacts on community neighborhoods posed by Short-Term Rentals, a violation of any of the provisions of this Chapter is declared to be a public nuisance.

#### **§ 204-14. Violations and penalties.**

- A. This Chapter shall be enforced by action brought before a Magisterial District Judge in the same manner provided for the enforcement of summary offenses under the Pennsylvania Rules of Criminal Procedure. Any Person, partnership, corporation, or other entity ~~which that~~ violates or permits a violation of the provisions of this Chapter shall, upon conviction in a summary proceeding, pay a fine of not less than \$100 nor more than \$1,000 per violation, plus all court costs and reasonable attorney's fees incurred by Carroll Valley Borough in the enforcement proceedings, and/or be imprisoned to the extent allowed by law for the punishment of summary offenses. Each day or portion thereof that a violation exists or continues shall constitute a separate violation. Further, ~~the appropriate officers or agents of Carroll Valley Borough~~ Carroll Valley Borough's appropriate officers or agents are hereby authorized to seek equitable relief, including injunction, to enforce compliance with this Chapter. All fines, penalties, costs, and reasonable attorneys' fees collected for the violation of this Chapter shall be paid to Carroll Valley Borough for its general use.
- B. In addition to, but not in limitation of, the provisions of the Part, the Code Enforcement Officer may either revoke or deny an application to renew a Short-Term Rental License for three (3) violations of this Chapter in any rolling twelve (12) calendar month period.
- C. The revocation or denial to renew a Short-Term Rental License shall continue for six (6) months for the first set of three (3) violations and continue for one (1) year for any subsequent sets of violations.

**§ 204-15. Owner’s Severally Responsible.**

If more than one Owner owns the premises, each Owner shall jointly and severally be responsible for violations of this Chapter.

**§ 204-16. Appeals.**

Appeals of a determination of the Code Enforcement Officer under this Chapter to deny any application for, or to renew, a Short-Term Rental License or to revoke a Short-Term Rental License shall be filed with the Borough Council at the Borough business office within thirty (30) days of the date of the determination appealed from.

**§ 204-17. Severability.**

If any section, provision, or portion of this Ordinance shall be held invalid or unconstitutional by any Court of competent jurisdiction, such decision shall not affect any other section, clause, provision, or portion of this Ordinance so long as it remains legally enforceable minus the invalid portion. The Borough reserves the right to amend this Ordinance or any portion thereof from time to time as it shall deem advisable in the best interest of the promotion of the purposes and intent of this Ordinance and the effective administration thereof.

**§ 204-18. Repealer.**

All Ordinances or parts of Ordinances which are inconsistent herewith are hereby repealed.

**§ 204-19. Effective date.**

This Ordinance shall become effective upon the earliest date provided by law.

ORDAINED AND ENACTED as an Ordinance of the Borough of Carroll Valley this \_\_\_ day of \_\_\_ 20\_\_.

ATTEST:

CARROLL VALLEY BOROUGH COUNCIL

\_\_\_\_\_  
Secretary

\_\_\_\_\_  
Council President

\_\_\_\_\_  
Mayor



CERTIFICATION OF ADOPTION

I hereby certify that the foregoing Ordinance was advertised in the Gettysburg Times, a newspaper of general circulation in the Borough, on \_\_\_\_\_, and was duly enacted and approved at a meeting of the Borough Council of the Borough of Carroll Valley on \_\_\_\_\_.

Gayle Marthers  
Assistance Borough Manager / Borough Secretary